

VILLAGE OF PLAIN CITY
PLANNING & ZONING COMMISSION

May 20, 2020

6:30 PM Via Video conference

MEMBERS

Mayor Lane – Darren Lee – Dustin Adler – Tom Jaskiewicz – Amy Rucker

CALL TO ORDER: Mr. Lee called the meeting to order at 6:34 pm

ROLL CALL:

* Mayor Lane - Joined at 6:41 pm * Darren Lee * Dustin Adler * Tom Jaskiewicz * Amy Rucker

STAFF PRESENT:

Nathan Cahall (Village Administrator), Paul LaFayette (Solicitor) - joined at 6:37 pm - and Karley Kidd (Council Clerk).

APPROVAL OF MINUTES:

April 15, 2020 Meeting

- Mr. Lee motioned to approve the April 15th meeting minutes. Mr. Jaskiewicz to second. Four yes votes. Mayor Lane absent.

COMMUNICATIONS:

Zoning (Nathan): Scheduled to have a 3rd reading on the Jefferson Village project.

BZA (Tom): At the last meeting, an applicant proposed a conditional use for a duplex development, and that was denied and sent back. Staff has received the applicant's revised application.

Council (Darren): Request that the packets get distributed at the adopted time.

VISITORS:

- Gary Smith
- Wade Dunham
- Randy Loebig
- Josh Barkan
- Aaron Underhill

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NEW BUSINESS: Case # 2020-001 Madison Meadows Final Development Plan #1 – Entry Feature and Signage Design Plan

- Mr. Cahall addressed the commission regarding the Madison Meadows entry feature and design plan. This plan is focusing on (L)0.1, indicating the areas where the entrance features are being proposed. For this development and its zoning text, a two-stage development was created. This allows the applicant in the zoning and development stages to have time to further develop the plans and to come back through an administrative review process by the planning commission and council. This is to make sure each section or each component of the project is being proposed to move forward. There are general design guidelines put in place for architecture and alike. The same is true for fencing and the layout of the street. It was originally envisioned by staff that this project was generally divided into three different pods of housing types. Staff figured there would be three, maybe four portions that would come into the administrative review process. The applicant, in this case, is wanting to just provide a limited review packet that would consist of their perimeter and buffering landscaping plan along Perry Pike and Plain City-LaFayette, and also their major development signage. Through various sheets in the plan set, the development is looking to have three development identification signs and landscape features at the three primary access points - one being at Perry Pike and two different access points on Plain City-LaFayette Road. To reference this, look at sheets 2.0, 3.0, and 4.0. The signs, material utilization, and design are in keeping with what was proposed conceptually at the major concept plan stage. The associated landscape around the entry signage meets the requirements. The ground signs will be externally illuminated. The second component is the perimeter buffering area along both the frontages along the development's eastern boundary line. Staff recommendation is to punt until there is a better idea of drainage components and utility locations.
- Mr. Smith addressed the commission and expressed his gratitude to the village for their efforts in this challenging time. Mr. Lee expressed that he had a question regarding sheet 2, there is a call out for the entrances - G3, G4, and G5 - are those intended to reference the sheet numbers L2 and L3? Mr. Smith responded that it was intended for the L-sheet and was leftover from the zoning document. Mr. Lee stated that what was provided looks very good. Should probably evaluate the eastern buffer plan. If there could be more information regarding mounting and vegetation to go along with what is currently laid out, like the buffering of the trees.
- Mr. Jaskewicz motioned to approve the signage and associated landscape but to disregard the buffering area. Mr. Lee to second. Five yes votes.

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OLD BUSINESS: Case # 2019-009 Oak Grove Final Development Plan. The Evergreen Land Company. 10522 U.S. 42 Plain City, Ohio 43064 Parcel # 04-00816.000

- Mr. Lee stated that case #2019-009 is still pending an updated revision from the applicant. This will be tabled until the next meeting. Mr. La Fayette stated that the tabling was at the applicants' request that the case is moved to the June meeting.
- Mr. Lee motioned to continue review on the application until the June meeting for case #2019-009. Mr. Jaskiewicz to second. Five yes votes.

DISCUSSION ITEM:

M/I Homes Concept Plan Discussion – McKitrick Farm Along SR 161

- Mr. Cahall addressed the commission that representatives from the development interest that currently have the property under contract. They have been in communication with staff for a few months concerning the land, and they are at a point where they are contemplating the concept of rezoning packets to formally submit and also figure out infrastructure. They wanted to hold an informal type of work session discussion and to share with the commission their concept and get feedback and comments.
- Josh Barkan and Aaron Underhill with MI Homes.
- Mr. Barkan addressed the commission regarding the concept plan. The thought, given the scale of the development, is a land plan with lots of open space and amenities. The property is currently zoned as commercial and industrial. The comp plan developed calls for conservation development, so with some research, the developers wanted to stick with the conservation development principles as much as possible. The goal is to have a proposal formally in front of the commission in July.
- One of the things the developer tried to do was keep a nice green conservation corridor along SR 161. The closest home to 161 is approximately 200 feet away, with most being over 400 feet away. In the center where the pool is, there is a clubhouse amenity. The homes around that are 50, 54, and 60 feet wide. This would fit similar to Darby Fields, a 40 ft box with a storage bump or third car garage. The lots to the East of the pool that is 65 Feet are referred to as the 'signature product.' The yellow lots along 161 are 70ft lots to support 'signature plus product' - 44 to 48 ft wide. The concept that falls off of that is called the 'retrete concept,' which will house an empty nester concept. Four units share a common drive facing a driveway or green. The pink area is set as 27 acres for potential multi-family development with another partner. Land south of 161 is 41 acres of green space that is planned as a park. The dedication to that land is unknown at this time. On the plan, 48.9% open space, and when submitted, will be at 50%. The goal is to deliver as much open space. A path system is included. The product standard is shown in the Darby Fields development.

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- Mr. Jaskiewicz stated his concern with the limited entrance or exits throughout the development. Initially, there is a lot of good and room for tweaking things, but like all the different products available. There are a lot of desirable features. Mr. Barkan stated that regarding the entrances, the developers would dive deeper with the village and ODOT to get a better understanding. There should also be an access point off Butler.
- Ms. Rucker expressed her concern about the green space and that the comprehensive plan does not have this included. She stated that she is very opposed to going against the plan. Mr. Barkan responded that south of 161 there is 41 acres of open space and it will still have over 120 acres on the north side of open space mixed in. Mr. Barkan asked for further explanation on how this does not fit into the called for a conservation development plan. Ms. Rucker stated that when thinking of that kind of development, homes sitting on an acre or five. In this case, the green space is a walking distance to get to greenspace. Mr. Barkan stated that typically in this type of development, you see cluster type housing with smaller lots and greenspace throughout. It has been found that people want greenspace that they don't have to take care of.
- Mr. Adler stated that the large number, 772 units, will take a minute to digest. With this large development, there is a concern with the number of children and how it will affect the school system. The initial plan looks good. One thing that did stand out was the location of the multi-family. The first thing people see when coming into town would be apartment buildings. Mr. Barkan stated that his plan is to contact the school district regarding their handling of the new units.
- Mr. Lee addressed his concerns regarding the entry flow. Could there be a possible roundabout entry? Would widening the road to four lanes make the entry better? Could the multi-family area also be used as a park area for a possible community center? Mix multi-family to the back corner of the green space. Path layouts look nice initially. Setbacks regarding the comp plan for residential setbacks of 600ft. Some areas provide frontage for commercial areas as well. 2-8 units an acre regarding the comp plan looks good. A breakdown of open space and what is usable and what is retention pond would be nice. He also asked if the developer has thought of any possible greenspace clusters and where the mailboxes would be located? Mr. Barkan responded that what the developer has been doing, where the clubhouse is, there will be a big part of the mailboxes there.
- Mr. Cahall stated that the applicant has the opportunity to change the aesthetic. Centrally located retention features. There is an opportunity here to also create some differentiation throughout the development with the different types of housing.
- Mr. Lee asked how many phases are planned for this development? Mr. Barkan said a lot. Potentially a 5 or 6-year project. Mr. Lee inquired about the electric. There are some Ohio Edison easements through there, do you see those being problematic? Mr. Barkan responded that there's one on the north side of the property that will need to be relocated, but the one from 161 through the property, we've done the best to work around it.

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- Mr. Jaskiewicz inquired about the development of the apartments and multi-family housing. If MI Homes were to bring the project to the commission in July, assuming approval is granted, if there was some reluctance in the apartments and multi-family houses, would that shut down the entire development? Mr. Barkan shared that what they envisioned, that the developer would bring it all in from a zoning standpoint and be zoned accordingly. Typically they would zone it to a plan and do a preliminary plan at the same time. Do a plan for the single-family, but not a plan for the multi-family. Not zone it to a plan and get final approval. There would be a secondary review process.

ADJOURN:

Mr. Lee motioned to adjourn at 7:38 pm. Mr. Jaskiewicz to second.

General Development Standards for Madison Meadows PRD

The codified ordinances of the Village of Plain City, shall apply except as otherwise provided herein. All references to the Village of Plain city ordinances refer to the version of the ordinance in force at the time of adoption of this zoning. Whenever there is a conflict or difference between the provisions of this Madison Meadows Development Plan and the codified ordinances of the Village, including zoning and subdivision ordinances, the provisions of this Development Plan shall prevail.

GDS 1.01 **General Intent**

- (a). It is the intent of the Applicant/Developer to create a unified, high quality mixed-use residential development with a large, centrally located park that will become the heart of the community. The proposed development shall be designed using smart-growth principles to foster a human scale, pedestrian friendly community, with a mixture of housing types serving multi-generational needs, and multiple access points from adjacent thoroughfares to the internal roadway system.
- (b). Madison Meadows has been designed to encourage walkability. The road network is designed as a gently curving grid, with houses arranged on relatively short blocks that connect to the main collectors. The main collectors off Perry Pike and Lafayette-Plain City Road lead to the central park to make it as accessible to all as possible. All roads will have sidewalks or trails to encourage pedestrian mobility and reduce car trips.
- (c). It is anticipated that Madison Meadows will be developed in sections over time by multiple developers. To achieve a visual unity for the overall development, landscape elements within view of public right-of-ways shall be controlled and coordinated by this development text. The following site landscape elements are controlled by the Preliminary Development Plan and these General Development standards:
 - Entry features and project identity signage
 - Street and parking lot lighting
 - Street trees, and landscaping
 - Trails and pedestrian connectivity
- (d). This development promotes a mix of residential types, including single-family detached homes, age-targeted detached and attached homes, condominiums, townhouses and garden apartments. A diversity of housing types is desirable for communities because it accommodates people at different stages in their lives, and

the central park becomes the common uniting element which provides for opportunities to meet and gather.

- (e). The total acreage (based on the ALTA Survey) is \pm 104.225 acres. All Subareas are measured to centerlines of proposed roads, hence they are gross acreages. These subarea acreages will adjust with final engineering.
- (f). If the standards contained herein conflict in any way with the Village of Plain City Codified Ordinances, then the standards contained in this Development Plan shall prevail. In the event the General Development Standards contained herein conflict in any way with any Specific Sub-area Development Standards provided in the following individual sub-areas, then the Specific Development Standards for that sub-area shall prevail. Standards in the Village of Plain City Zoning Code applicable to matters not specified in this document shall apply to each of the sub-areas in the Development Plan.

Street plan alignments shown on the Conceptual Development Plan give a general indication of where such streets shall be platted and constructed. They are not, however, intended to be precise. While the functional system shall be produced, its precise alignment will be determined at final engineering and construction and may vary from that shown so long as the functional objectives, and the standards established herein, are attained. Based upon final roadway designs, adjustments may need to be made to individual sub-area configurations to accommodate actual road locations.

GDS 1.02 **Landscaping and Storm Water Management**

The Landscape Requirements of Chapter 1187 of the codified ordinances of the Village of Plain City, as current on the date of adoption of this zoning, shall apply to Madison Meadows except as otherwise provided herein. Whenever there is a conflict or difference between the provisions of this Madison Meadows Preliminary Development Plan and Plain City Village Code, the provisions of this Development Plan shall prevail.

- (a). **Landscaping**
 - (1). Landscaping plans shall be submitted as part of the Final Development Plans for each portion of the development as it develops.
 - (2). Any portion of a developed lot upon which a building or parking area is not constructed shall be landscaped with turfgrass as a minimum. Those areas designated as landscape buffers, tree lawns, entry features or other landscape features shall be maintained meeting the minimum standards in Plain City Village Code Chapter 1187, or as thereafter amended.

- (3). Street trees on each side of any entry drive shall be set back a minimum of thirty (30) feet from the curb cut to accentuate the entry/exit points and to accommodate the visibility triangle, as approved by the Village Engineer.
 - (4). Street trees shall be located an average of 40 feet on center within the tree lawns of all public streets. Trees shall be evenly spaced with exceptions as necessary to accommodate driveway curb cuts, fire hydrants, and street lights.
 - (5). All internal parking areas for multi-family uses shall be screened by a combination of trees, fencing, and hedges, and/or mounding that is a minimum of three (3) feet in height (as measured from the grade of the parking lot) unless designated otherwise in the sub-area text. Where buildings front a public roadway with no parking or circulation between the road and building, no such screening shall be required.
 - (6). All mounding shall be located outside the public right-of-way and shall not obstruct site distance at any driveways or public intersections.
 - (7). All residential dwellings backing onto Lafayette-Plain City Road and Perry Pike Road shall be screened. Screening shall consist of a combination of mounding and landscaping as indicated on the Landscape Enlargements, Exhibit G2.
 - (8). Additional landscaping requirements are contained within each sub-area to control area specific needs.
 - (9). The use of native or adapted plant materials is strongly encouraged for water and energy conservation.
 - (10). Quality: all plant materials used in conformance with the provisions of this text shall conform to the standards of the American Association of Nurserymen and shall have passed any inspection required under state regulations.
 - (11). All plant material used for the Madison Meadows project shall meet the minimum size requirement at installation as specified in the Village of Plain City Zoning Resolution, Section 1187.05.
- (b). **Storm Water Management**
- (1). Where feasible, storm water management within each sub-area shall be provided by wet retention ponds aesthetically integrated into the surrounding development.

- (2). Storm water management shall meet the Village of Plain City requirements and be approved by the Village Engineer
- (3). Each sub-area shall meet the Village Storm Water Management Program (SWMP) subject to the review and approval by the Village Engineer or shall provide for a regional SWMP subject to the Village Engineer's approval.

GDS 1.03 **Access, Loading, Parking and Traffic Related Comments**

- (a). All access points shown on the plans are conceptual in nature. Final location of access points shall be determined at the time of final development using data supported by a traffic study and roadway engineering. All access points shall be submitted to the Plain City Village Engineer for review and approval.
- (b). All access points with public streets shall be designed to meet Village Standards as determined by the Plain City Village Engineer.
- (c). There shall be an 8-foot asphalt multi-use path on the south side of Perry Pike Road and along the east side of Lafayette-Plain City Road.
- (d). A five (5) foot wide concrete sidewalk shall be provided along both sides of all public streets constructed within the development. The sidewalks shall be installed within the right-of-way with roadway improvements.
- (e). Proposed setbacks for sub-areas are measured from the right-of-way line along all public streets or roads.
- (f). Unless stated otherwise in Subarea Development Standards, the off-street parking and loading requirements shall meet or exceed the minimum standards outlined in Chapter 1193 in the Plain City Zoning Code.

GDS 1.04 **General Development Identification Signage**

This provision contains the standards for the common signs within the development. Each sub-area may contain additional sign standards, which shall also apply in that sub-area. If there is a conflict between the sub-area standards and general development standards, these general development standards shall take precedence.

- (a). All signage and graphics shall conform to the Plain City Sign Code Chapter 1199 unless specifically provided otherwise in this Preliminary Development Plan.

(b). Development Identification Signs.

There shall be three (3) Development Identification Signs which shall identify the overall development (Madison Meadows). They will be located at the major entrance intersections as follows (see plan):

- a) at the intersection of Perry Pike and Street 'A'
- b) at the intersection of Lafayette-Plain City Road and Street 'B'
- c) at the intersection of Lafayette-Plain City Road and Street 'C'

(1). For each of the Development Identification signs, the following standards shall apply:

- (a). Sign shall be located at least ten (10) feet behind the edge of the right-of-way
- (b). The signs shall be a free-standing monument style sign to be constructed of natural or manufactured stone or brick, with the sign panel having a maximum height of 8 feet above the grade at the base of the sign. The graphic area shall be a maximum of 60 square feet per side. The sign shall be in the general character of the signs shown on plans (see Exhibit G3).
- (c). The development identification signs shall be landscaped with trees, shrubs and seasonal color in mulched plant beds (see Exhibit G3).

(c). Subarea Identification Signs.

In addition to the Development signs described above, each Subarea shall be permitted two (2) free-standing monument signs internal to the project. The following standards shall apply to the subarea identification signs:

- (1). The signs shall be a free-standing monument, or yard arm style sign to be constructed of wood and/or natural or manufactured stone or brick, with the sign panel having a maximum height of 6 feet above the grade at the base of the sign. The graphic area shall be a maximum of 20 square feet per side. The sign shall be in the general character of the signs shown on plans (see Exhibit G3).
- (2). Freestanding signs shall be located at least ten (10) feet behind the right-of-way line and must not block sight visibility for ingress/egress.
- (3). All identification signs within the same sub-area shall be built of similar materials and be of a similar height, size and setback to allow for consistent urban design and visual harmony.

(d). Village of Plain City Welcome sign - The developer of Madison Meadows intends to provide a signage easement to the Village of Plain City at the South-Western most corner of the development, along Lafayette Plain City Road, to allow for the future installation of a Village of Plain City welcome sign. Future sign shall be designed and installed by the Village at a time of their choosing.

GDS 1.05 **Architectural Standards**

Madison Meadows will be promoted as a planned residential development, and as such, will need an architectural theme that embodies consistency and quality of design throughout the development. Whenever there is a conflict or difference between the provisions of this Madison Meadows Preliminary Development Plan and the codified ordinances of the Village, the provisions of this Development Plan shall prevail.

- (a). The overall architectural theme shall be established through site elements such as entry features & signage, fencing, lighting, street trees and walkways.
- (b). For specific architectural requirements, see separate sub-area development standards.

GDS 1.06 **Trash Enclosure Standards**

- (a). Trash enclosures- including dumpsters and compactors- shall be located to the rear of buildings and screened by an enclosure from public right-of-ways, except as may otherwise be provided in a sub-area.
- (b). Screening for dumpsters shall use material(s) compatible with the principal building. Stone, brick, stucco, synthetic stone, cedar and high-quality vinyl are acceptable for fence/screening materials. Gates may be made of metal, but siding, lattice must be opaque and kept closed (except on trash pickup day).
- (c). All dumpsters shall be screened at a height of at least six (6) feet.

GDS 1.07 **Lighting**

- (a). The streetlights shall be constructed along all public streets in accordance with Village of Plain City standards for collector and/or subdivision streets.
- (b). All parking lighting within sub-areas shall be cut-off type fixtures. No light spillage off the site shall be allowed. All lighting shall be arranged to reflect light away from any street or adjacent property.
- (c). All types of parking, pedestrian and other lighting shall be on poles or wall mounted cut-off type fixtures and shall be from the same type and style as defined in each of the Sub-area Development Standards.
- (d). Unless otherwise noted, all parking lights shall be metal fixtures, 28 feet height maximum and shall be black or dark bronze in color.

- (e). No colored lights shall be used to light the exterior of buildings. Low-emitting lighting is permitted to uplight the exterior of a building without having a 'spot-light' effect.

GDS 1.08 Utilities

- (a). All permanent utility connections shall be out of view or sufficiently screened if they can be seen from a public right of way.
- (b). All mechanical equipment, other utility hardware and related structures shall be effectively screened from grade level view at the public right-of-way by a fence, vegetation, or wall of harmonious architectural material and character and shall be subject to all approvals required by the Plain City Village Code.

GDS 1.09 Common Open Space & Landscape Easements

- (a). Not less than 25% of the total net developable area of the proposed development shall be dedicated to permanent open space, parks, and/or public spaces as required by 1178.06. Such open space shall either be granted to a homeowner's association or dedicated as parkland to the Village.
- (b). Common open space areas and landscape easements can be categorized as follows:
 - (1). Entry features & identification signs located within common setback areas
 - (2). Landscape buffers located within common setback areas
 - (3). Storm water management areas including ponds, stream buffers and drainage areas
 - (4). Community park
- (c). Landscape buffers and drainage easement improvements and subarea site entry features within each sub-area shall be constructed by individual developers for that sub area.
- (d). Generally, the entry features and landscape buffers along Perry Pike and Lafayette-Plain City Road shall be more highly maintained areas, while the stormwater management areas shall be planted with lower maintenance landscaping.
- (e). Installation and maintenance of storm water ponds shall comply with all state, county and Village of Plain City standards.
- (f). Common areas throughout the development shall be privately owned and maintained and may be established by easement or fee ownership. Legal devices

shall be used requiring each property owner to participate in the maintenance of the common areas, based upon their proportionate interests in the area and development.

GDS 1.010 **Madison Meadows Central Park - Sub Area D**

- (a) The ±12 acre centrally located park is intended to provide for the active and passive recreational activities of the residents of Madison Meadows and the greater Village of Plain City.
- (b) Restrictions and expectations for the central park site include:
 - (1). Park site will be dedicated to the Village of Plain City after re-zoning. In the event that the Village of Plain City declines the dedication, the park will be dedicated to the Home Owners Association.
 - (2). A portion of the park may be used for stormwater needs of the overall development as indicated on the Conceptual Development Plan. Final stormwater configuration to be determined at final engineering.
 - (3). The park will be developed as a neighborhood park, and the use of such park shall be determined by the Village of Plain City on the condition that only park / recreational uses shall be permitted. Further development of the park for residential, business, industrial, or municipal uses shall not be permitted.
 - (4). The park is surrounded on three sides by public streets to maximize visibility and access to the park. These surrounding streets will allow on-street parking, removing the need for off-street parking facilities
 - (5). The park site will be developed for active and passive recreational uses of Madison Meadows, and the Village of Plain City, within three (3) years of commencement of the development.
 - (6). The park site shall remain as a permanent open space reserve in perpetuity. The Village of Plain City may not sell the parkland to any other private or public entity without the express written approval of the applicant / land developer / Home owners association.

GDS 1.011 **Madison Meadows - Statements of Divergence from the Zoning Ordinance**

- (a) The applicant requests a divergence from Section 1178.06 (a) (2)&(4) of the Village of Plain City Zoning Code which states that: (2) the maximum density shall be Five (5) units per acre if the development is a mix of residential types; (4) A maximum density increase of up to 20 percent may be granted if the development utilizes conservation development principles as outlined in Section 1178.07. The applicant is proposing a density of 5.43 dwelling units per acre (an increase of only 8.6%). The utilization of Smart Growth Principles, to create a mix of

residential uses within a highly walkable and connected environment, will ultimately provide the Village with more benefit than a single-use conservation design subdivision. In further support of this request, the applicant is dedicating a 12-acre park to the Village of Plain City, and committing to construct approximately 3,850 linear feet of multi-use trail, thereby providing a public benefit that will extend not only to the residents of this development, but to the greater Plain City community as well.

- (b) The applicant requests a divergence from Section 1178.06 (e)(2) which states that the maximum height in a Planned Residential District shall be 35 feet. This divergence request is limited to Sub-Area B only and will permit 3-story townhomes and garden apartment buildings, up to 45' tall, on the interior of the sub-area only. Buildings adjacent to Street 'B', Street 'C', and the proposed park shall still be required to meet the 2-story (35' height) maximum. This divergence allows for a diversity of architecture, and will allow the efficient development of a much needed residential product type in the Village of Plain City.
- (c) The applicant requests a divergence from Section 1178.06 (g)(2) which limits private roads from serving areas larger than two acres, and larger than 6 units. This divergence is necessary to allow the development within Sub Area B, and Sub Area C to take place on private roads which is typical of a multi-family, or condominium development. Granting this divergence will prevent the village from having to assume the maintenance of streets and parking areas within a private residential development and is in the best interest of the Village of Plain City.
- (d) The applicant requests a divergence from Section 1183.03 (A)(1) which requires a minimum front setback from the centerline of the road equal to the width of the Right-of-Way of that road. The applicant requests this divergence to allow a standard setback of 25' from the Right-of-Way instead of the required 28'. This divergence will allow the adherence to accepted urban design principals and will allow front porches to be located closer to the sidewalk where public interaction occurs. The granting of this divergence will result in the development of a more pedestrian friendly, community oriented, environment within Madison Meadows.

SUB AREA A - SINGLE FAMILY DETACHED HOUSING

Sub Area A is (mostly) located in the southern portion of the Madison Meadows site and represents the largest subarea. It also includes lots along the eastern portion of the site. Subarea A has frontage on both of the two main arterials- Lafayette-Plain City Road and Perry Pike Road, both of which will provide access to this subarea. Total size of this sub area is ±50.5 acres, and this includes common open space areas that will used as setbacks and for stormwater management. Uses allowed for this subarea are single family detached housing.

Permitted Uses

- A) Single- family detached homes, one principle structure per lot

Density

- A) A maximum of 140 residential lots

Accessory Uses

- A) Private garages or carports, whether attached to or detached from a dwelling.
- B) Maximum of 1 Tool and/or garden shed per dwelling.
- C) Temporary buildings for uses incidental to construction work, which shall be removed upon completion or abandonment of the construction work.
- D) Private swimming pools and tennis courts, for primary use by occupants of the principal use of the property. Private swimming pools shall be subject to the regulations of Chapter 1183.08 of the Village of Plain City Ordinance.
- E) Small satellite dish antennas provided such device is for sole use by occupants of the principal use of the property on which the device is located and complies with the provisions of Chapter 1184 of the Village of Plain City Ordinance.
- F) Home occupations, subject to the regulations of Chapter 1183.13 of the Village of Plain City Ordinance.

Development Standards

Out of respect for the existing context- especially the existing homes along Weather Vane Way to our east, Subarea A is broken into two areas:

- a) Northeast- this includes the areas along the border with Weathervane Way, which will feature larger lots, located strictly to the east of Street 'A' as shown on the conceptual development Plan, Exhibit 'E'.
- b) South- this includes the remainder of Subarea A.

- A) Minimum lot size: 8,000 square feet (northeast)
7,200 square feet (balance of subarea)
- B) Minimum lot width: 70 feet (northeast)
60 feet (balance of subarea)
- C) Lot coverage: No more than 45% of any lot may be covered by the combined footprint of buildings and driveways on the lot.
- D) The maximum height of buildings:
- Principal buildings: two (2) stories not to exceed 35 feet.
 - Accessory buildings: 15 feet.
- E) The minimum yard dimensions and setbacks:
- (a) Minimum Setbacks for buildings (northeast)
- | | |
|------------------|-------------------------|
| Perry Pike Road: | 100 feet from ROW |
| Front yard: | 25 feet from ROW |
| Side yard: | 7 feet from lot line* |
| Rear yard: | 25 feet from lot line** |
- (b) Minimum Setbacks for buildings (balance of Subarea A)
- | | |
|----------------------------|-------------------------|
| Lafayette-Plain City Road: | 100 feet from ROW |
| Front yard: | 25 feet from ROW |
| Side yard: | 6 feet from lot line* |
| Rear yard: | 25 feet from lot line** |
- * Cantilevered fireplace chases, cantilevered condensing units, window wells, eaves and overhangs shall be permitted to extend a maximum of 2' in the side yards.
- ** Decks and patios shall be permitted to encroach into the rear yard.

Public Street Requirements:

Multi-use path: Developer shall install an 8-foot minimum asphalt multi-use path on the east side of Lafayette-Plain City Road and along the south side of Perry Pike across the frontage of Subarea A.

- A) **Sidewalks:** All new public streets shall have 5-foot minimum sidewalks installed on each side, to be located at least 6 feet from the back edge of curb to form a 6' minimum tree lawn. The minimum width of the walk between the driveway and front porch/stoop shall be 3 feet.

- B) **Street Trees:** Street trees shall be required along all new streets developed within Subarea A. Street trees shall be located an average of 40 feet on center within the tree lawns of all public streets. Trees shall be evenly spaced with exceptions as necessary to accommodate driveway curb cuts, fire hydrants, and street lights. Street trees shall meet the minimum size requirement at installation as specified in the Village of Plain City Zoning Resolution, Section 1187.05.
- C) **Street Lights:** All new public streets will include lighting as required by the Village of Plain City's subdivision regulations.

Special Landscape Buffers & Development Requirements:

- A) **Perimeter Screening:** All lots backing onto Lafayette-Plain City Road and Perry Pike Road shall be screened. Screening shall consist of a combination of mounding, landscaping as indicated on the Development Plans, Exhibit G2.
- B) **Fencing:**
 - (a) No fencing is permitted in side or front yards. No chain link fencing is allowed in any yard.
 - (b) Decorative wrought iron (or aluminum with the appearance of wrought iron) fencing will be permitted around in-ground pools.
 - (c) Decorative screening for the purpose of providing privacy, not exceeding 6 feet in height, shall be permitted to be installed around patios located immediately adjacent to dwellings.
 - (d) Fences not exceeding 3.5' in height are permitted along rear yard lines behind the rear elevation of the home and may be made of wood, PVC, vinyl, wrought iron or aluminum with the appearance of wrought iron. Wire mesh may be attached to the lot owner's side of fence for pet containment purposes.
- C) **Lafayette-Plain City Road:** Within the 80' perimeter setback identified on the development plans, the developer shall install a landscape buffer along the back of lots facing the street. Screening shall consist of a combination of mounding and landscaping as shown on the Landscape Plan, Exhibit G2.

Off-Street Parking Requirements: Except as otherwise provided, the Village of Plain City's parking regulations outlined in Chapter 1193 shall apply in Sub Area A.

- (a) Developer is required to provide a minimum of two (2) enclosed garage parking spaces per unit

- (b) Garage parking spaces may be counted towards required of-street parking requirements

Signs Permitted. Except as otherwise provided, the Village of Plain City's signage regulations outlined in Article 23 shall apply in Sub Area A.

- A) Each Subarea shall be permitted two (2) free-standing monument signs. The following standards shall apply to the subarea identification signs:
- (a) The signs shall be a free-standing monument, or yard arm style sign to be constructed of wood and/or natural or manufactured stone or brick, with the sign panel having a maximum height of 6 feet above the grade at the base of the sign. The graphic area shall be a maximum of 20 square feet per side. The sign shall be in the general character of the signs shown on plans (see Exhibit G3).
 - (b) Freestanding signs shall be located at least ten (10) feet behind the right-of-way line and must not block sight visibility for ingress/egress.
 - (c) All identification signs within the same sub-area shall be built of similar materials and be of a similar height, size and setback to allow for consistent urban design and visual harmony.

Architectural Standards

A) **Character Statement**

The single-family home exteriors will be designed to be reminiscent of traditional architectural styles incorporating front porches with modest setback emphasizing neighborhood interaction and walkability while de-emphasizing the garage as the prominent façade element. The architectural character shall incorporate vocabulary from traditional details. Continuity of elements and scale and the commonality of building materials will reinforce the architectural cohesiveness while providing architectural diversity.

B) **Architecture**

- (a) Houses must contain at least two design in any combination elements on all sides. Provided further that all of the following must be met:
- At least one design element must be present in each equal one-half vertical division of the subject elevation;
 - If there is any upper wall area great than 30 feet wide and 10 feet high (measured at nine feet above the first-floor level), at least one design element must be located predominately at least nine feet above the first floor of the elevation.

(b) Acceptable design elements include:

- A door of at least 17 square feet in area.
- A window at least six square feet in area with window trim of at least a minimum 3 ½" board. A set of adjacent windows, such as a double or bay window, count as one design element, however, horizontal bands of immediately adjacent window units count as one design element for every horizontal eight feet of run.
- An articulated decorative gable vent.
- A similar significant permanent architectural feature consistent with the style of the house.
- A chimney located along an exterior elevation. Cantilevered fireplaces and chimneys shall be permitted and are not required to extend past the roof line.
- Other appropriate design elements approved administratively.

(c) **Finish Building Materials**

- Exterior Materials: Wood, stone, cultured stone, brick, cultured brick, stucco, cementitious siding, 4" horizontal vinyl siding, 6" beaded horizontal vinyl siding, shake style vinyl siding, and/or vinyl board and batten siding are permitted. At least 75% of the homes will have brick, stone, or cultured stone on at least 25% of the front facade. Vinyl siding, if used, shall be a minimum of .044 inches thick.
- Color: Only muted tones in shades of white, beige, tan, gray, and brown shall be permitted for the primary exterior colors. Red or green may be permitted provided they are in more muted earth tones.
- Surfaces: porch, stoop and walking surfaces may be concrete and/or pavers.

(d) **Windows and Doors**

- Windows: window style shall be white vinyl, single hung, with 4/4, 6/6 or 9/9 grid pattern or fixed pane with a minimum of 2 grids. All windows shall have grid patterns used on all four sides of the home.
- Shutters or trim: shutters or trim are required on all windows on all elevations. Shutters, if utilized, shall be sized to fully cover the window. Shutters shall be louvered, raised or flat paneled, or board and batten and made of vinyl, wood or PVC. Trim shall be required when shutters are not used. Trim shall be a minimum of 3 ½" board around all sides of windows and may be wood, vinyl or PVC.
- Front Door: Door style shall be 2, 4, or 6 panel wood, steel, or fiberglass, solid, and of a single-color. Transom windows with grids shall be optional above the front door.

- **Garage Doors:** Garage doors will be recessed a minimum of 5" from the garage facade. Garage doors shall be a maximum of 16' in width and maximum 9' in height. Garage doors shall be aluminum, wood, steel, or fiberglass, and shall be panel style or carriage style doors. Plain garage doors will not be permitted. The initial installation or replacement of garage doors must be a low-contrast color that is the same, or similar in hue and tonal value as the primary color of the house. Garage door trim shall match the garage doors or the primary trim color of the house. Trim shall be 3 ½" width minimum. The percentage of the garage door opening to the overall front facade may not exceed 50%.

(e) **Roof**

- **Pitch:** the main architectural roof of a house shall be at least 5/12 and can go to 12/12. Porches shall be 4/12 to 12/12
- **Material:** main roof material shall be constructed with a 30-year dimensional asphalt shingle of weathered wood, pewter or a similar color. Porches shall be constructed with a 30-year dimensional asphalt shingle of weathered wood, pewter or a similar color; or shall be constructed of standing seam metal in a color chosen to compliment the color and style of the house.

(f) **Special Elements**

- **Dormers:** Gables shall be 4/12 to 12/12 pitch.
- **Trim-Fascia and Soffits:** Facades shall have a minimum 6" overhang.

(g) **Architectural Diversity:** The same home elevation shall not be constructed side-by-side or directly across the street.

(h) **Lighting Exterior:** Lighting shall be attached to the unit near the front door, or to either side of the garage, or both. The style of lighting shall be selected to compliment the style of home.

(i) **Elevations Examples:** representative architecture is shown on Exhibits I. Arrangement, configuration and changes to the architectural or landscape requirements and addition of other design elements may be approved administratively by the zoning department.

SUB AREA C - AGE TARGETED ATTACHED AND DETACHED DWELLINGS

Sub Area C is located in the northwest portion of the Madison Meadows site. Subarea C has frontage on Perry Pike to the north, Lafayette-Plain City Rd. to the west, proposed collector street 'B' to the south and proposed collector street 'A' to the east. Access to this subarea will be from new streets 'A' and 'B'; no direct access is proposed off Perry Pike or Lafayette-Plain City Road. Total size of this sub area is approximately ± 24.3 acres, and this includes common open space areas that will used as setbacks and for stormwater management. Uses anticipated for this subarea are age targeted attached and detached dwellings.

Permitted Uses

- A) Age targeted Single-Story, or story and a half, detached dwelling units
- B) Age targeted attached dwellings in configurations ranging from 2 units to 4 units

Density

- A) A maximum of 110 residential units

Accessory Uses

- A) Private garages or carports, whether attached to or detached from a primary building.
- B) Temporary buildings for uses incidental to construction work, which shall be removed upon completion or abandonment of the construction work.
- C) Private swimming pools and tennis courts, for primary use by occupants of the principal use of the sub area. Private swimming pools shall be subject to the regulations of Chapter 1183.08 of the Village of Plain City Code.
- D) Clubhouses and/or exercise facilities for the private use of the primary residents of this sub area.
- E) Private Sport courts such as pickleball, shuffleboard, bocce, etc. for the private use of the primary residents of the sub area.
- F) Private Trash Compactors for use of the residents of the community, to be serviced by a private company in contract with the sub area developer. Private compactors installed for use of the residents shall be screened from view from adjacent roadways by landscaping or by enclosure made of brick, stone, wood, or some combination of the above.
- G) Small satellite dish antennas provided such device is for sole use by occupants of the principal use of the property on which the device is located and complies with the provisions of Chapter 1184 of the Village of Plain City Code.

Development Standards

- A) **Lot coverage:** No more than 40% of the sub area may be covered by principal or accessory structures
- B) **The maximum height of buildings:**
- Principal buildings: two (2) story not to exceed 24 feet
 - Accessory buildings: one (1) story not to exceed 15 feet
- C) **The minimum yard dimensions and setbacks:**
- (a) Minimum Setbacks for buildings
- | | |
|--------------------------|------------------|
| Lafayette-Plain City Rd: | 80 feet from ROW |
| Perry Pike: | 100 from ROW |
| Street 'A' & 'B': | 25 feet from ROW |
- (b) Minimum setbacks for paving
- | | |
|--------------------------|-------------------|
| Lafayette-Plain City Rd: | 100 feet from ROW |
| Perry Pike: | 120 from ROW |
| Street 'A' & 'B': | 25 feet from ROW |
- (c) Minimum separation between buildings: 12 feet

Public Street Requirements:

- A) **Multi-use path:** Developer shall install an 8-foot minimum asphalt multi-use path on the east side of Lafayette-Plain City Road and on the south side of Perry Pike across the frontage of Subarea C generally as shown on the Conceptual Development Plan, Exhibit E.
- B) **Sidewalks:** New public Streets 'A' & 'B' on the east and south sides of Subarea C shall have 5-foot minimum sidewalks installed on each side, to be located at least 6 feet from the back edge of curb to form a 6' minimum tree lawn.
- C) **Street Trees:** Street trees shall be required along new public Streets 'A' & 'B'. Street trees shall be located an average of 40 feet on center within the tree lawns of all public streets. Trees shall be evenly spaced with exceptions as necessary to accommodate driveway curb cuts, fire hydrants, and street lights. Street trees shall meet the minimum size requirement at installation as specified in the Village of Plain City Zoning Resolution, Section 1187.05.
- D) **Street Lights:** All new public streets will include lighting as required by the Village of Plain City's subdivision regulations.

Private Street Requirements:

- A) **Sidewalks:** Developer shall install a 4' minimum sidewalk on at least one side of each private street within sub area C. Sidewalk should be located on the side that has the most homes, and should be designed to connect with public sidewalks and trails to maximize pedestrian walkability.
- B) **Street Trees:** Street trees shall be required along new private roads. Street trees shall be located an average of 50 feet on center within the tree lawns of all private streets. Trees shall be evenly spaced with exceptions as necessary to accommodate driveway curb cuts, fire hydrants, etc. Street trees shall meet the minimum size requirement at installation as specified in the Village of Plain City Zoning Resolution, Section 1187.05.

Special Landscape Buffers & Development Requirements:

- A) **Fencing:** Decorative wrought iron (or aluminum with the appearance of wrought iron) fencing will be permitted around in-ground pools. Decorative screening for the purpose of providing privacy, not exceeding 6 feet in height, shall be permitted to be installed around patios located immediately adjacent to buildings.
- B) **Lafayette-Plain City and Perry Pike Road:** A landscape buffer shall be installed along the back of lots or building rear elevations facing the street. Screening shall consist of a combination of mounding and landscaping as indicated on the Conceptual Site Landscape Plans, Exhibit G2.
- C) **Parking Lot Landscape:** Developer shall provide a minimum of one tree per 10 parking spaces. These trees can be grouped into larger islands as described below:
 - (a) A peninsula shall be no less than 144 square feet (8' X 18'), whereas an island shall be no less than 288 square feet (8' X 36'). Both shall have a minimum width of 8 feet. Fewer but larger islands are encouraged. One tree shall be planted for every 144 square feet of green space required in the parking lot.
 - (b) Tree canopies shall be maintained at 6 feet above the ground plane and shall be landscaped with hardwood mulch, shrubs, or groundcover not to exceed 2 feet in height.
 - (c) All trees shall meet the minimum size requirement at installation as specified in the Village of Plain City Zoning Resolution, Section 1187.05.

Off-Street Parking Requirements:

Except as otherwise provided, the Village of Plain City's parking regulations outlined in Chapter 1193 of the Village of Plain City Code shall apply in Sub Area C. Garage spaces and driveway spaces can count towards the minimum parking requirements.

- (a) 1.5 parking spaces per unit (1 bedroom)
- (b) 2.0 parking spaces per unit (2 bedroom or 3 bedroom)
- (c) Clubhouses, pools and other recreational amenities shall provide a minimum of 3 spaces per 1000 square feet of building area

Signs Permitted. Except as otherwise provided, the Village of Plain City's signage regulations outlined in Article 23 of the Village of Plain City Code shall apply in Sub Area C.

- A) **Project Identification Signs.** Each Subarea shall be permitted two (2) free-standing project identification signs interior to the development. The following standards shall apply to the subarea identification signs:
 - The signs shall be a free-standing monument, or yard arm style sign to be constructed of wood and/or natural or manufactured stone or brick, with the sign panel having a maximum height of 6 feet above the grade at the base of the sign. The graphic area shall be a maximum of 20 square feet per side. The sign shall be in the general character of the signs shown on plans (see Exhibit G3).
 - Freestanding signs shall be located at least ten (10) feet behind the right-of-way line and must not block sight visibility for ingress/egress.
 - All identification signs within the same sub-area shall be built of similar materials and be of a similar height, size and setback to allow for consistent urban design and visual harmony.
- B) **Project Directional Signs.** Developer may also provide appropriate directional signage at ingress/egress access points for street names. On site permanent directional signs, e.g. employee and visitor parking, sales & leasing, etc. will be of a common design, material and size. Maximum height of directional signage shall be four (4) feet and the maximum copy area type face shall be three (3) square feet.
- C) **Building/Address Signs.** Developer may also use address signs on buildings to aid in navigation by visitors and delivery personnel. Signs are limited to one (1) square foot and should be made of a permanent material mounted appropriately on the facade of buildings.

Architectural Standards

A) Color Palette:

- (a) Earth tones, muted and natural tones are required. Accent colors in brighter hues are permitted for building accent features only such as awnings, doors, limited trim, etc. A mixed palette on a single building should be carefully selected so all colors harmonize with each other.

B) Materials:

- (a) Warm-tone reddish brick, brick veneer, stone, stone veneer, or stucco stone with limestone trim.
- (b) Natural wood, wood composite or high-quality vinyl sidings with wood trim.
- (c) Stucco may be used as an accent material provided it does not exceed 60% of the exterior facade material. Concrete or masonry foundations may only have 18-inch exposure above finish grade before the primary exterior finish materials begin.
- (d) Exterior cladding shall be within color palette described and be traditional materials, most commonly found on similar building types. These materials shall include the following:
- Brick or Brick Veneer in warm reddish tones
 - Stone/Cultured Stone (equal to or better than Stone Products Corporation).
 - Wood lap siding, composite lap siding, and cedar shake siding painted or stained.
 - High Quality vinyl siding- minimum of .044 inch nominal thickness in 4" horizontal profile, 6" dutch lap profile, cedar shake profile, or board and batten profile.
 - Stucco- per industry standards -light to medium textures.
- (e) No front building elevation shall have more than 70% vinyl siding. The remaining 30% of the front elevation shall be comprised of other materials provided herein.
- (f) Roof materials: Standing seam metal, cedar shakes, slate or dimensional asphalt or fiberglass shingles.

BASIS OF BEARINGS
HORIZONTAL DATUM=NORTH AMERICAN DATUM 1983

VERTICAL DATUM= NORTH AMERICAN VERTICAL DATUM 1988. * SOME SLIGHT VARIATION FROM NAVD88 MAY OCCUR THROUGHOUT THE SITE DUE TO TRAVERSE ELEVATIONS BEING HELD OVER GRID ELEVATIONS. BENCHMARKS SHOULD BE USED AND HELD.

THE UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS/MAPS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES LOCATED HERE ON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES LOCATED ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE.

THIS SURVEY IS A COMBINATION OF AERIAL PHOTOGRAMMETRIC DATA AND TRADITIONAL SURVEY DATA.

BENCHMARKS

- B.M. #1** BEING A BRASS & CONCRETE COUNTY MONUMENT #05-029, LOCATED ON THE NORTHEAST CORNER OF THE INTERSECTION OF LAFAYETTE-PLAIN CITY ROAD AND PERRY PIKE, SAID MONUMENT BEING APPROXIMATELY 45 FEET NORTHEASTERLY FROM SAID INTERSECTION. ELEV.=946.91
- B.M. #2** BEING A CHISELED "X" ON THE ARROW BOLT OF A HYDRANT LOCATED APPROXIMATELY 120' WESTERLY OF THE INTERSECTION OF WEATHERVANE WAY AND HARRINGTON DRIVE, SAID HYDRANT BEING ON THE NORTHERLY SIDE OF SAID HARRINGTON DRIVE. ELEV.=946.38
- B.M. #3** BEING A CHISELED "X" ON THE ARROW BOLT OF A HYDRANT LOCATED APPROXIMATELY 80' NORTHWESTERLY OF THE INTERSECTION OF WEATHERVANE WAY AND MURLAY DRIVE, SAID HYDRANT BEING ON THE NORTHERLY SIDE OF SAID MURLAY DRIVE. ELEV.=947.55

FLOODPLAIN NOTE

THE SITE IS LOCATED IN FLOOD ZONE "X" PER F.E.M.A. COMMUNITY PANEL NO. 39097C0075D DATED JUNE 18, 2010.

EXISTING UTILITY NOTES

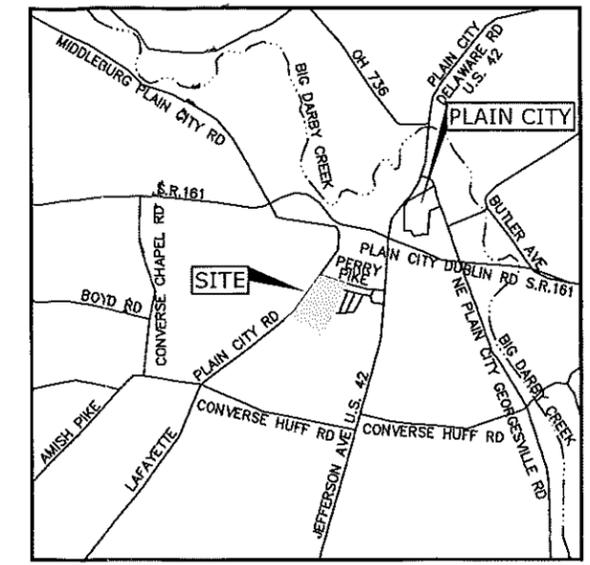
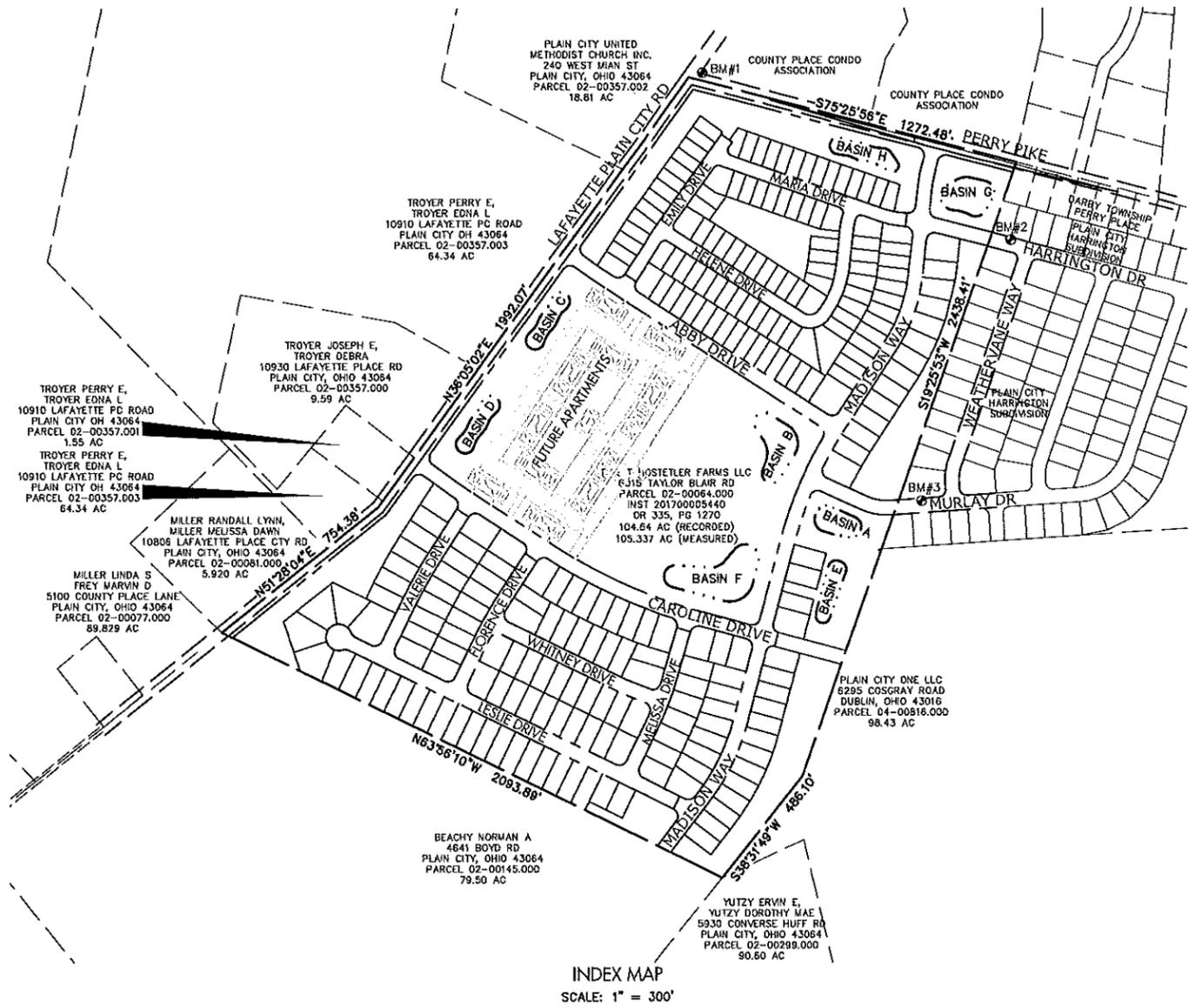
THE IDENTITY AND LOCATION OF THE EXISTING UNDERGROUND UTILITY FACILITIES KNOWN TO BE LOCATED IN THE CONSTRUCTION AREA HAVE BEEN SHOWN ON THE PLANS BASED ON FIELD OBSERVATIONS, AS WELL AS AS-BUILT DRAWINGS THE VILLAGE OF PLAIN CITY AND/OR THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY AS TO THE ACCURACY OF THE UNDERGROUND FACILITIES SHOWN ON THE PLANS. SUPPORT, PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED IN THE PRICE BID FOR THE VARIOUS ITEMS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE REGISTERED UNDERGROUND UTILITY PROTECTION SERVICES (TELEPHONE 800-362-2764 - TOLL FREE) AND THE OWNER'S OF UNDERGROUND UTILITY FACILITIES SHOWN ON THE PLANS WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.54 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES LOCATED WITHIN THE PROJECT LIMITS:

- | | | |
|--|--|---|
| SANITARY & WATER FACILITIES:
THE VILLAGE OF PLAIN CITY
MR. WADE LEINVESTER
213 CHILLICOTHE STREET
PLAIN CITY, OH 43064
P: 614-873-3527 | ELECTRIC
OHIO EDISON
MRS. TAMI SCHIFER
4993 STATE ROUTE 521
DELAWARE, OH 43015
P: 740-382-7174 | CABLE
SPECTRUM
DOUGLAS KUHN
3760 INTERCHANGE ROAD
COLUMBUS, OH 43204
P: 614-255-6337
C: 614-348-2923 |
| GAS
COLUMBIA GAS OF OHIO
TODD SCHWARZ
290 WEST NATIONWIDE BLVD.
COLUMBUS, OHIO 43215
P: 614-460-5071
C: 614-508-7023
F: 1-866-213-4377 | TELEPHONE
VERIZON
550 LEADER STREET
MARION, OHIO 43302
P: 740-383-0729 | |

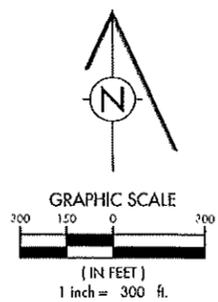
FINAL DEVELOPMENT PLAN FOR
MADISON MEADOWS
104.64 ACRE TRACT
VILLAGE OF PLAIN CITY, OHIO



LOCATION MAP
NO SCALE

SURVEYOR
CT CONSULTANTS, INC.
ATTN: JERRY CURRY, SI
3875 EMBASSY PARKWAY SUITE 200
AKRON, OHIO 44333
P: 330-375-0800
F: 330-665-0620
EMAIL: JCURRY@CTCONSULTANTS.COM

DEVELOPER:
HIGHLAND REAL ESTATE GROUP, LLC.
ATTN: RANDY LOEBIG
720 EAST BROAD STREET SUITE 200
COLUMBUS, OH 43215
P: 614-374-3257
C: 614-242-4001



DATE	DESCRIPTION OF CHANGE

TERRACON CONSULTANTS
Your bridge between Vision and Success

720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614-385-1070 | F: 614-385-1055 | E: info@terricon.com

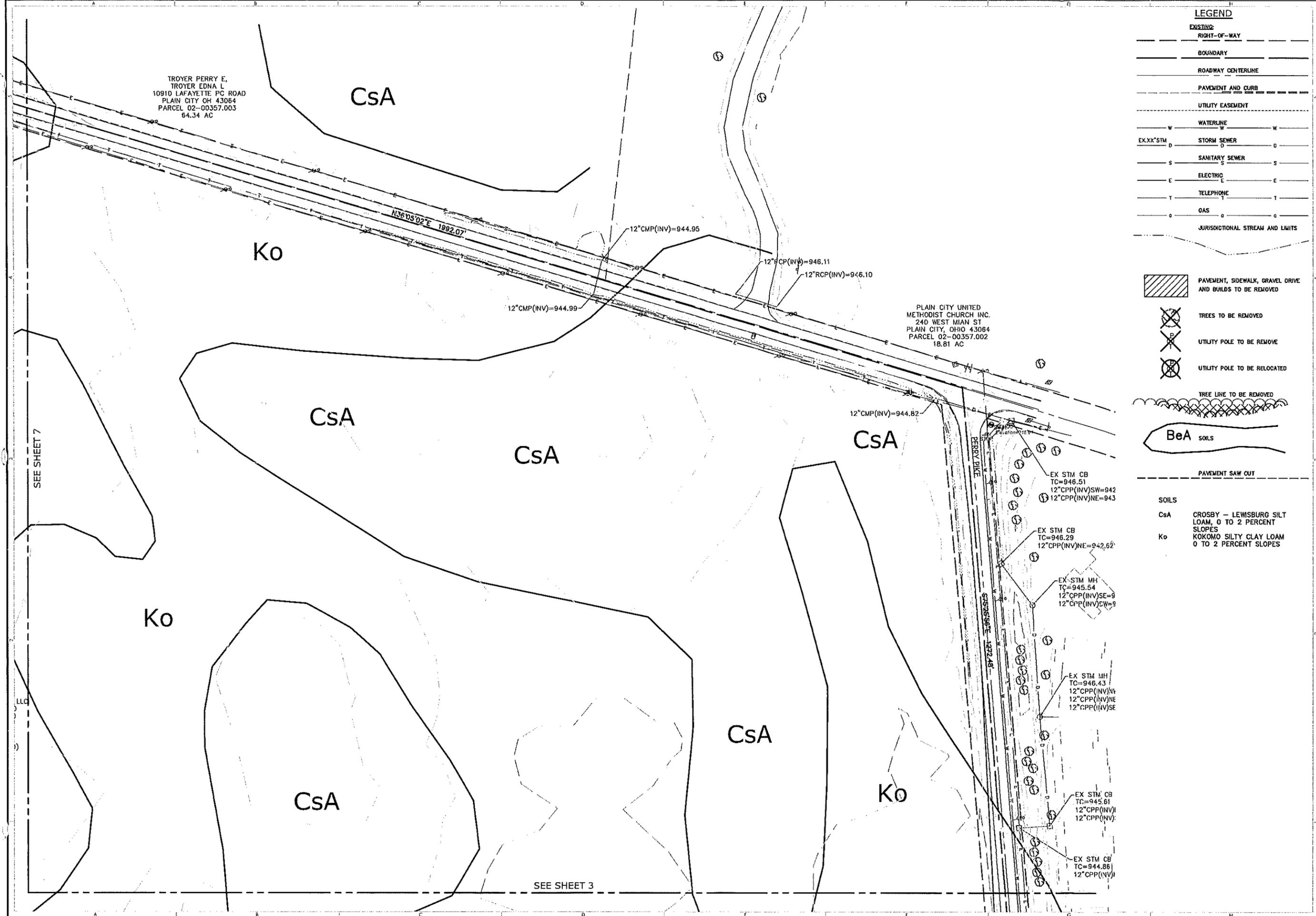
Madison MEADOWS
COVER SHEET

SHEET INDEX

1	COVER SHEET
2	EXISTING CONDITIONS PLAN INDEX
3-9	EXISTING CONDITIONS PLAN
10	SITE DIMENSION PLAN INDEX
11-14	SITE DIMENSION PLAN
15	COMPOSITE UTILITY PLAN INDEX
16-22	COMPOSITE UTILITY PLAN
23-25	STREET PLAN & PROFILE MADISON WAY
26-27	STREET PLAN & PROFILE CAROLINE DRIVE
28	PRELIMINARY STREET PLAN & PROFILE CAROLINE DRIVE EXTENSION
29	STREET PLAN & PROFILE ABBY DRIVE
30	STREET PLAN & PROFILE MURLAY DRIVE & HARRINGTON DRIVE
31-32	PRELIMINARY STREET PLAN & PROFILE LESLIE DRIVE
33	PRELIMINARY STREET PLAN & PROFILE VALERIE DRIVE
34	PRELIMINARY STREET PLAN & PROFILE FLORENCE DRIVE
35	PRELIMINARY STREET PLAN & PROFILE WHITNEY DRIVE
36	PRELIMINARY STREET PLAN & PROFILE MELISSA DRIVE
37	PRELIMINARY STREET PLAN & PROFILE EMILY DRIVE
38	PRELIMINARY STREET PLAN & PROFILE HELENE DRIVE
39	PRELIMINARY STREET PLAN & PROFILE MARIA DRIVE
40-46	TURNING RADIUS LEFT TURNS
47-53	TURNING RADIUS RIGHT TURNS

DESIGN #	DATE	CHECK
MSG	DGR	MSG
PROJECT #	19035	
DATE	APR. 2020	
SCALE:	HORIZONTAL: 1" = 300'	VERTICAL: N/A
SHEET #	1/53	





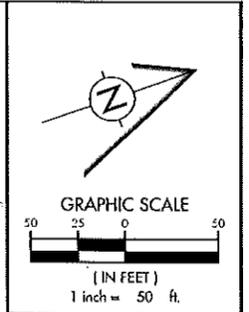
TROYER PERRY E.
TROYER EDNA L.
10910 LAFAYETTE PC ROAD
PLAIN CITY OH 43064
PARCEL 02-00357.003
64.34 AC

PLAIN CITY UNITED
METHODIST CHURCH INC.
240 WEST MIAN ST
PLAIN CITY, OHIO 43064
PARCEL 02-00357.002
18.81 AC

LEGEND

- EXISTING**
- RIGHT-OF-WAY
 - BOUNDARY
 - ROADWAY CENTERLINE
 - PAVEMENT AND CURB
 - UTILITY EASEMENT
 - WATERLINE
 - EX.XX"STM STORM SEWER
 - S SANITARY SEWER
 - E ELECTRIC
 - T TELEPHONE
 - G GAS
 - JURISDICTIONAL STREAM AND LIMITS
- PAVEMENT, SIDEWALK, GRAVEL DRIVE AND BUILDS TO BE REMOVED**
- TREES TO BE REMOVED**
- UTILITY POLE TO BE REMOVE**
- UTILITY POLE TO BE RELOCATED**
- TREE LINE TO BE REMOVED**
- BeA SOILS**
- PAVEMENT SAW CUT**

- SOILS**
- CsA CROSBY - LEWSBURG SILT LOAM, 0 TO 2 PERCENT SLOPES
 - Ko KOKOMO SILTY CLAY LOAM 0 TO 2 PERCENT SLOPES



DATE	BY	DESCRIPTION OF CHANGE

Terracine Evolution
Your bridge between Vision and Success

720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.365.1090 | F: 614.365.1065 | E: info@terracineevolution.com

VILLAGE OF PLAIN CITY, OH

Madison
M E A D O W S

EXISTING CONDITIONS PLAN

DRAWING SET STATUS

- DESIGN / ENGINEERING SET
- ASSESS / REVIEW SET
- CONSTRUCTION DOCUMENT SET
- ASBUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
MJD	DGR	MJD

PROJECT NO: 19035

DATE: APRIL 2020

SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: N/A

SHEET NO: 6/53

SEE SHEET 7

SEE SHEET 3

SINGLE FAMILY
 FRONT YARD SETBACK - 25'
 REAR YARD SETBACK - 25'
 SIDE YARD SETBACK - 7' (70' LOTS)
 6' (60 LOTS)

IE DRIVE (54' R/W)

CAROLINE DRIVE (54' R/W)

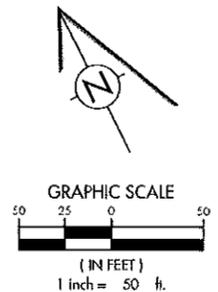
WHITNEY DRIVE (54' R/W)

FLORENCE DRIVE (54' R/W)

LESLIE DRIVE (54' R/W)

MELISSA DRIVE (54' R/W)

MADISON WAY (54' R/W)



NO.	DATE	DESCRIPTION OF CHANGE

Terracine
Your bridge between Vision and Success
 770 East Beeson Street | Suite 203 | Columbus, OH 43205
 P: 614.385.1070 | F: 614.385.1085 | E: info@terracinevaluation.com

Madison
 M E A D O W S
 VILLAGE OF HAIN CITY, OH
 SITE DIMENSION PLAN

DESIGN	DRAW	CHECK
MJS	DGR	MJS
PROJECT NO:	19-035	
DATE:	APR. 2020	
SCALE:	HORIZONTAL: 1" = 50' VERTICAL: 1" = 5'	
SHEET NO:	12/53	

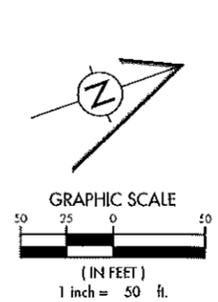


SEE SHEET 19

LEGEND

- EXISTING:**
- EX.XX'R/W RIGHT-OF-WAY
 - EX.XX'ESMT UTILITY EASEMENT
 - EX.XX"WL WATERLINE
 - EX.XX"STM STORM SEWER
 - EX.XX"SAN SANITARY SEWER
 - E ELECTRIC
 - T TELEPHONE
 - EX.XX" GAS
- PROPOSED:**
- XX'R/W RIGHT-OF-WAY
 - XX'ESMT UTILITY EASEMENT
 - XX"BL BUILDING SETBACK LINE
 - XX"WL WATERLINE
 - W WATER VALVE
 - W REDUCER
 - W FIRE HYDRANT
 - WS WATER SERVICE
 - D STORM SEWER
 - SM STORM SEWER MANHOLE
 - SCB STORM SEWER CATCH BASIN
 - SCI STORM SEWER CURB INLET
 - S SANITARY SEWER
 - SMH SANITARY MANHOLE
 - SS SANITARY SERVICE
 - E ELECTRIC
 - ETB ELECTRIC TRANSFORMER BOX

STORM STRUCTURES
 1-199 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 200-299 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 300-399 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS
SANITARY STRUCTURES
 1-26 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 27-40 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 10-12C SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS



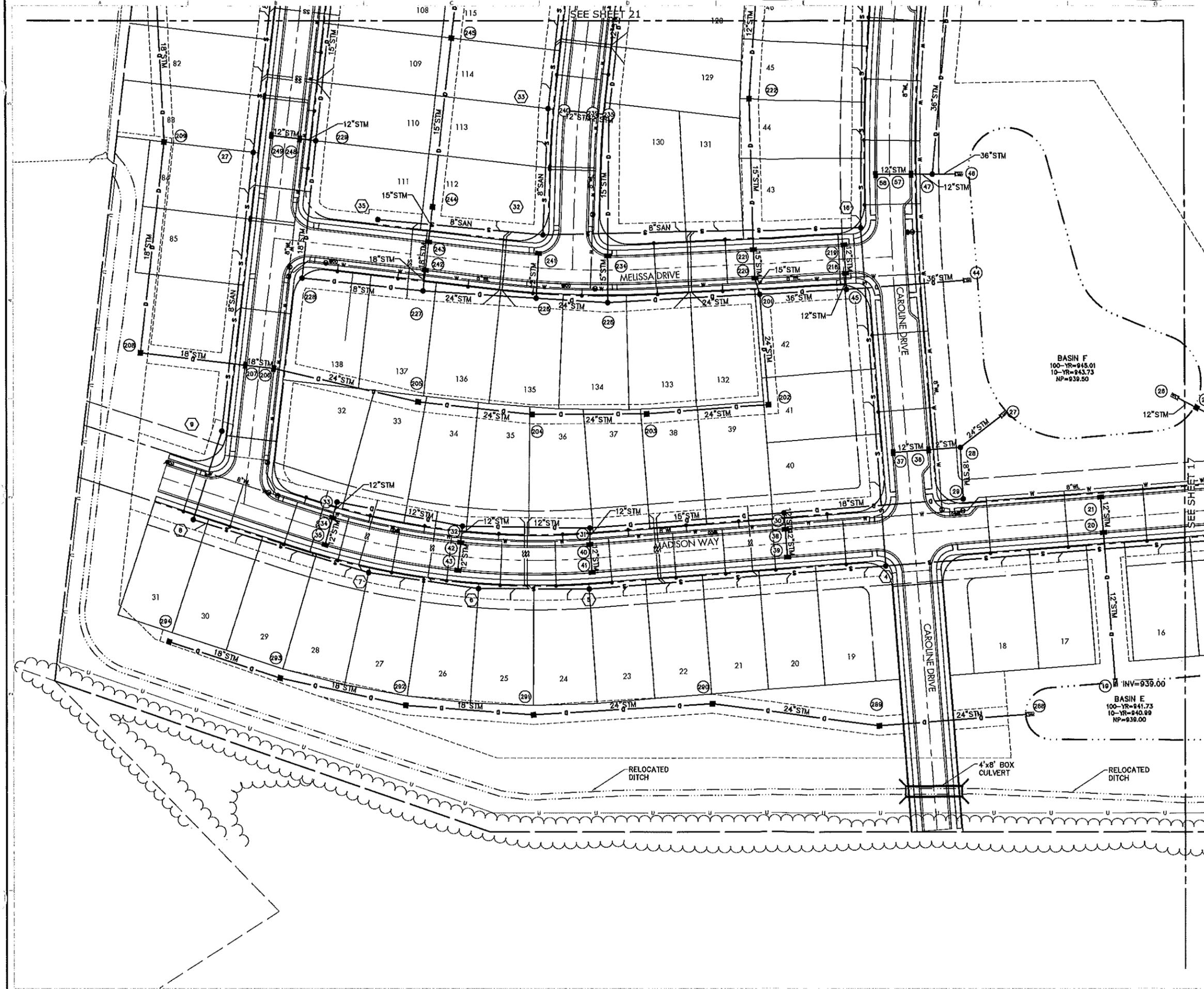
DATE	DESCRIPTION OF CHANGE

TERRA ENGINEERING
Your bridge between Vision and Success
 720 Eve Beed Street | Suite 203 | Columbus, OH 43215
 P: 614.395.1070 | F: 614.395.1035 | E: info@terraengineering.com

VILLAGE OF PAIN CITY, OH
Madison
 M E A D O W S
 COMPOSITE UTILITY PLAN

DESIGN	DRAFT	CHECK
AVG	DGR	AJS

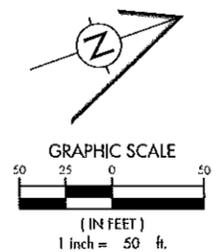
PROJECT NO:	19035
DATE:	APR. 2020
SCALE:	HORIZONTAL: 1" = 50' VERTICAL: N/A
SHEET NO.:	16/53



LEGEND

EXISTING:	
EX.XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
EX.XX'ESMT	UTILITY EASEMENT
EX.XX"W	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX'GAS	GAS
PROPOSED:	
XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
XX'ESMT	UTILITY EASEMENT
XX'B/L	BUILDING SETBACK LINE
XX"W	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
WS	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ETB	ELECTRIC TRANSFORMER BOX

STORM STRUCTURES
 1-199 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 200-299 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 300-399 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS
SANITARY STRUCTURES
 1-26 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 27-40 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 10-12C SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS



DATE	BY	DESCRIPTION OF CHANGE

Terracine Division
Your bridge between Vision and Success
 720 Eee Board Street | Suite 203 | Columbus, OH 43215
 P: 614-295-1090 | F: 614-295-1095 | E: info@terracinedivision.com

Madison Meadows
 VILLAGE OF HAIN CITY, OH
 COMPOSITE UTILITY PLAN

DESIGN	DRAW	CHECK
MAG	DGR	MJS
PROJECT NO: 19035		
DATE: APR. 2020		
SCALE: HORIZONTAL: 1" = 50'		
VERTICAL: N/A		
SHEET NO: 18/53		



BASIN C
100-YR=946.22
10-YR=945.90
NP=945.00

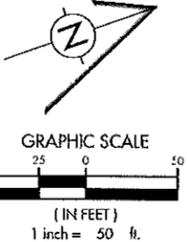
SEE SHEET 20

SEE SHEET 16

LEGEND

EXISTING:	
EX.XX'R/W	RIGHT-OF-WAY
	ROADWAY CENTERLINE
EX.XX'ESMT	UTILITY EASEMENT
EX.XX"W	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX'GAS	GAS
PROPOSED:	
XX'R/W	RIGHT-OF-WAY
	ROADWAY CENTERLINE
XX'ESMT	UTILITY EASEMENT
XX'BL	BUILDING SETBACK LINE
XX"W	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
WS	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ET	ELECTRIC TRANSFORMER BOX

STORM STRUCTURES
 1-199 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 200-299 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 300-399 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS
SANITARY STRUCTURES
 1-26 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 27-40 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 10-12C SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS

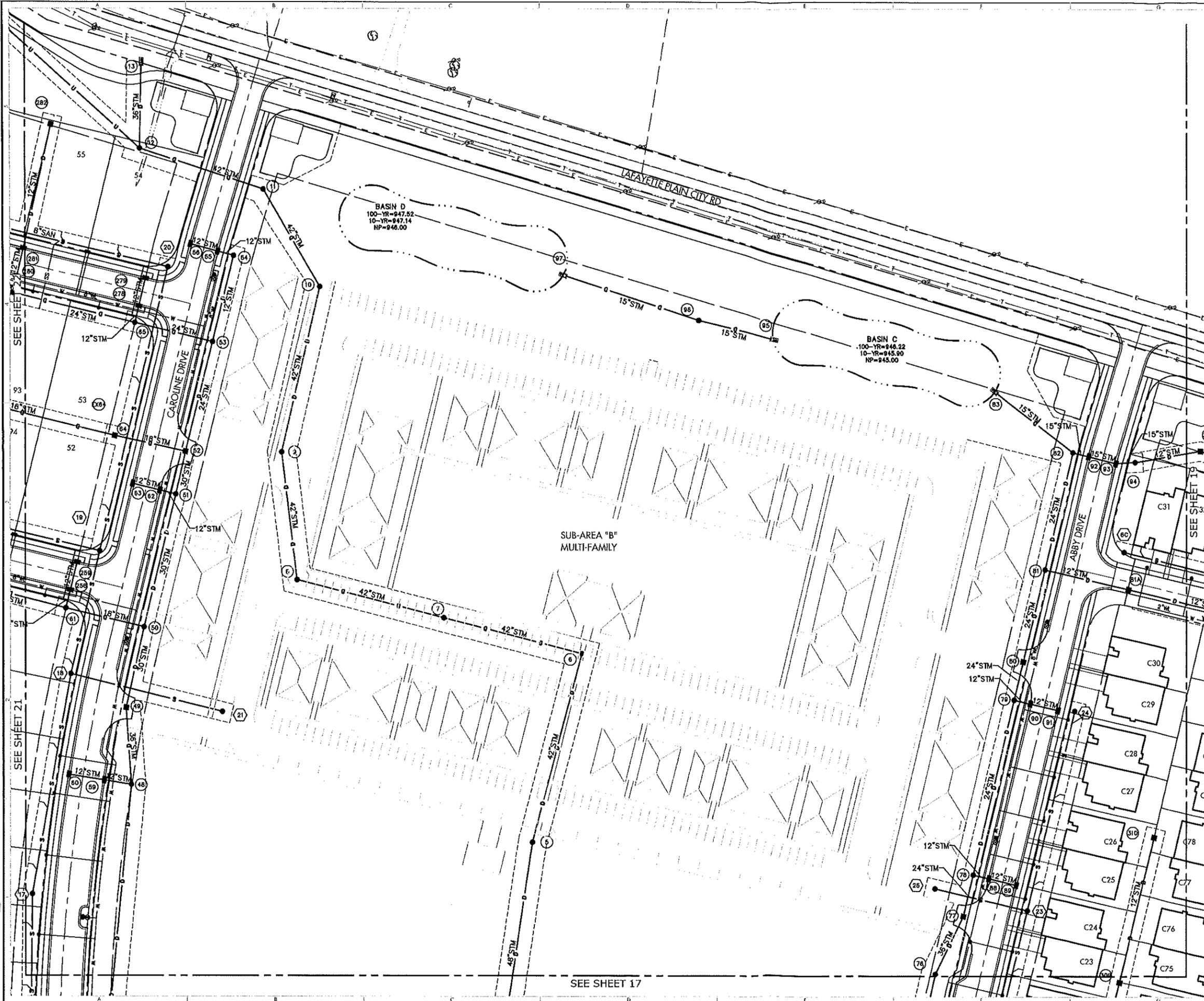


DATE	BY	DESCRIPTION OF CHANGE

Terracine Evolution
 Your bridge between Vision and Success
 720 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614.285.1070 | F: 614.285.1065 | E: info@terracineevolution.com

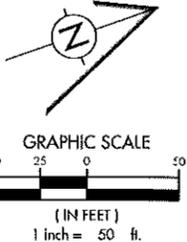
VILLAGE OF PLAIN CITY, OH
Madison
 M E A D O W S
 COMPOSITE UTILITY PLAN

DRAWING STATUS		
■	PRELIMINARY ENGINEERING SET	
□	AGENCY REVIEW SET	
□	CONSTRUCTION DOCUMENT SET	
□	ASSEMBLY DOCUMENT SET	
DESIGN	DRAW	CHECK
MJS	DGR	MJS
PROJECT NO.	19035	
DATE	APR 2020	
SCALE:	HORIZONTAL: 1" = 50'	
	VERTICAL: N/A	
SHEET NO.	19/53	



LEGEND

EXISTING:	
EX.XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
EX.XX'ESMT	UTILITY EASEMENT
EX.XX"W	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX'GAS	GAS
PROPOSED:	
XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
XX'ESMT	UTILITY EASEMENT
XX'BL	BUILDING SETBACK LINE
XX"W	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
WS	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ETB	ELECTRIC TRANSFORMER BOX



DATE	BY	DESCRIPTION OF CHANGE

TERRACINE SOLUTIONS
Your bridge between Vision and Success
 720 Elm Brook Street | Suite 203 | Columbus, OH 43215
 P: 614.385.1090 | F: 614.385.1065 | E: info@terrainsolutions.com

VILLAGE OF PLAIN CITY, OH
Madison
 MEADOWS
 COMPOSITE UTILITY PLAN

DRAWING SET STATUS	
■	PRELIMINARY ENGINEERING SET
□	AS-BUILT REVIEW SET
□	CONSTRUCTION DOCUMENT SET
□	AS-BUILT DOCUMENT SET

DESIGN	DRAW	CHECK
MG	DGR	MJB

PROJECT NO:	19-035
DATE:	APR. 2020
SCALE:	HORIZONTAL: 1" = 50' VERTICAL: N/A
SHEET NO.:	20/53

STORM STRUCTURES
 1-199 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 200-299 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 300-399 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS
SANITARY STRUCTURES
 1-26 SERIES - FINAL ENGINEERED WITH CORE ROADWAY PLANS
 27-40 SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY
 1C-12C SERIES - PRELIMINARY ENGINEERED FOR SUB-AREA "C" CONDOS

BASIN D
 100-YR=947.52
 10-YR=947.14
 NP=946.00

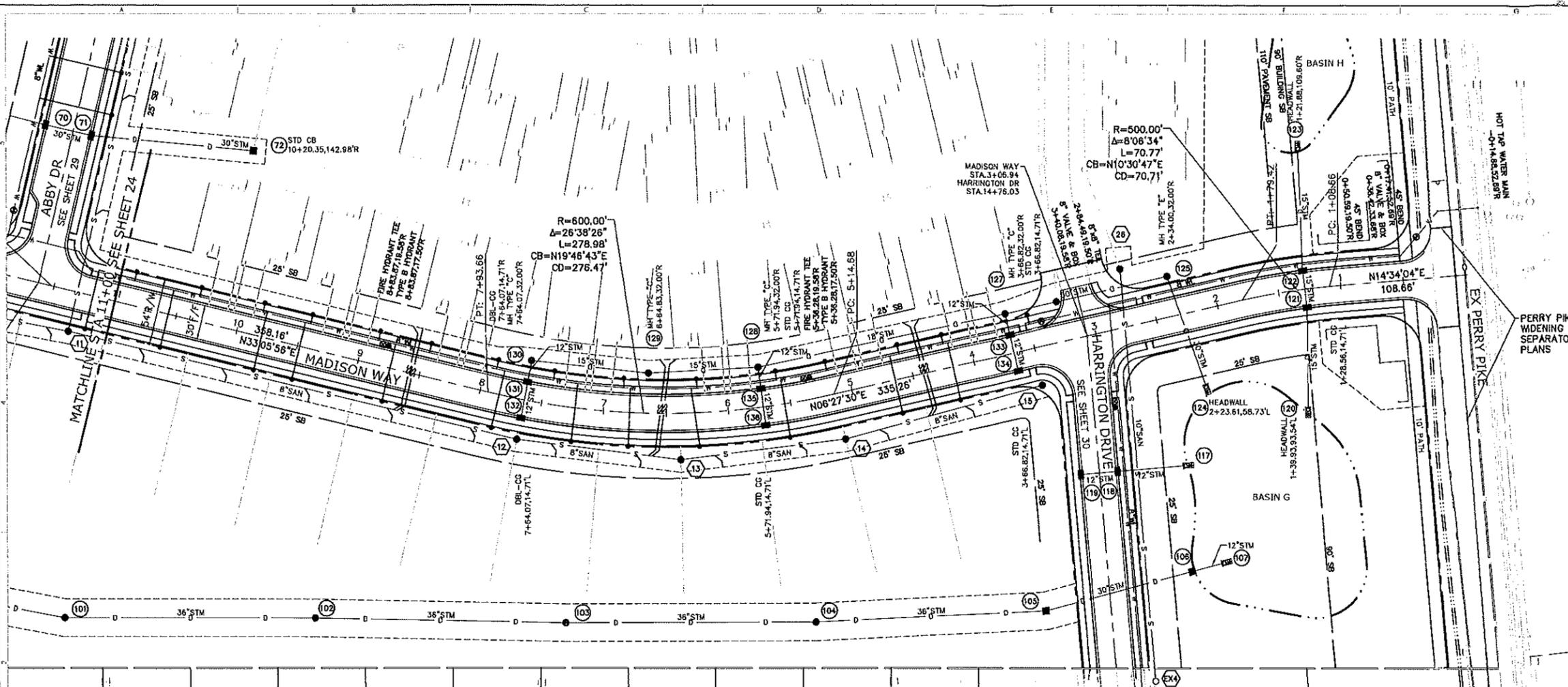
BASIN C
 100-YR=946.22
 10-YR=945.90
 NP=945.00

SUB-AREA "B"
 MULTI-FAMILY

SEE SHEET 17

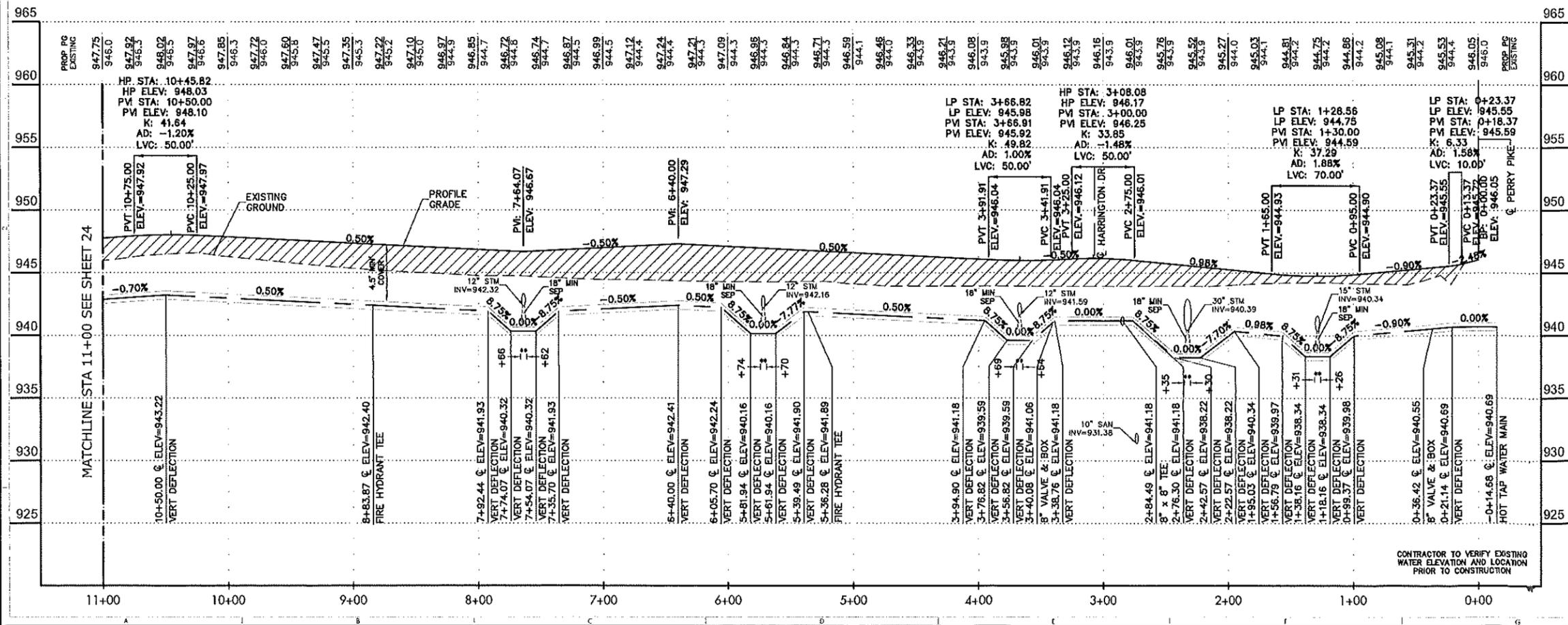
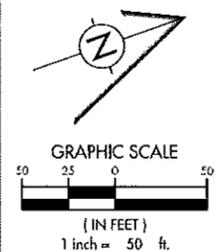
SEE SHEET 21

SEE SHEET 32



LEGEND

EX.XX'R/W	EXISTING	RIGHT-OF-WAY
EX.XX'ESMT	ROADWAY CENTERLINE	UTILITY EASEMENT
EX.XX'WL	WATERLINE	
EX.XX'STM	STORM SEWER	
EX.XX'SAN	SANITARY SEWER	
E	ELECTRIC	
T	TELEPHONE	
EX.XX'GAS	GAS	
XX'R/W	PROPOSED	RIGHT-OF-WAY
XX'ESMT	ROADWAY CENTERLINE	UTILITY EASEMENT
XX'WL	BUILDING SETBACK LINE	WATERLINE
W	WATER VALVE	
W	REDUCER	
W	FIRE HYDRANT	
W	WATER SERVICE	
D	STORM SEWER	
D	STORM SEWER MANHOLE	
D	STORM SEWER CATCH BASIN	
D	STORM SEWER CURB INLET	
S	SANITARY SEWER	
S	SANITARY MANHOLE	
S	SANITARY SERVICE	
E	ELECTRIC	
ET	ELECTRIC TRANSFORMER BOX	
**	OOOT 203 FILL	
**	COMPACTED GRANULAR BACKFILL	
	DEDICATED OPEN SPACE	
	OPEN SPACE RESERVE	
	SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER	



NOTE: ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY.

NOTE: MADISON WAY FINAL ENGINEERED WITH CORE ROADWAY PLANS

CHANGE ORDER SCHEDULE

NO.	DESCRIPTION OF CHANGE	BY	DATE

TERRAINE SOLUTIONS

Your bridge between Vision and Success

790 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614.365.1070 | F: 614.365.1085 | E: info@terrainesolutions.com

VILLAGE OF PAIN CITY, OH

Madison

M E A D O W S

STREET PLAN & PROFILE MADISON WAY

DRAWING SET STATUS

- DESIGNED BY: []
- APPROVED BY: []
- CONSTRUCTION DOCUMENT SET: []
- ASSEMBLY DOCUMENT SET: []

DESIGN	DRAFT	CHECK
MSJ	DGR	MSJ

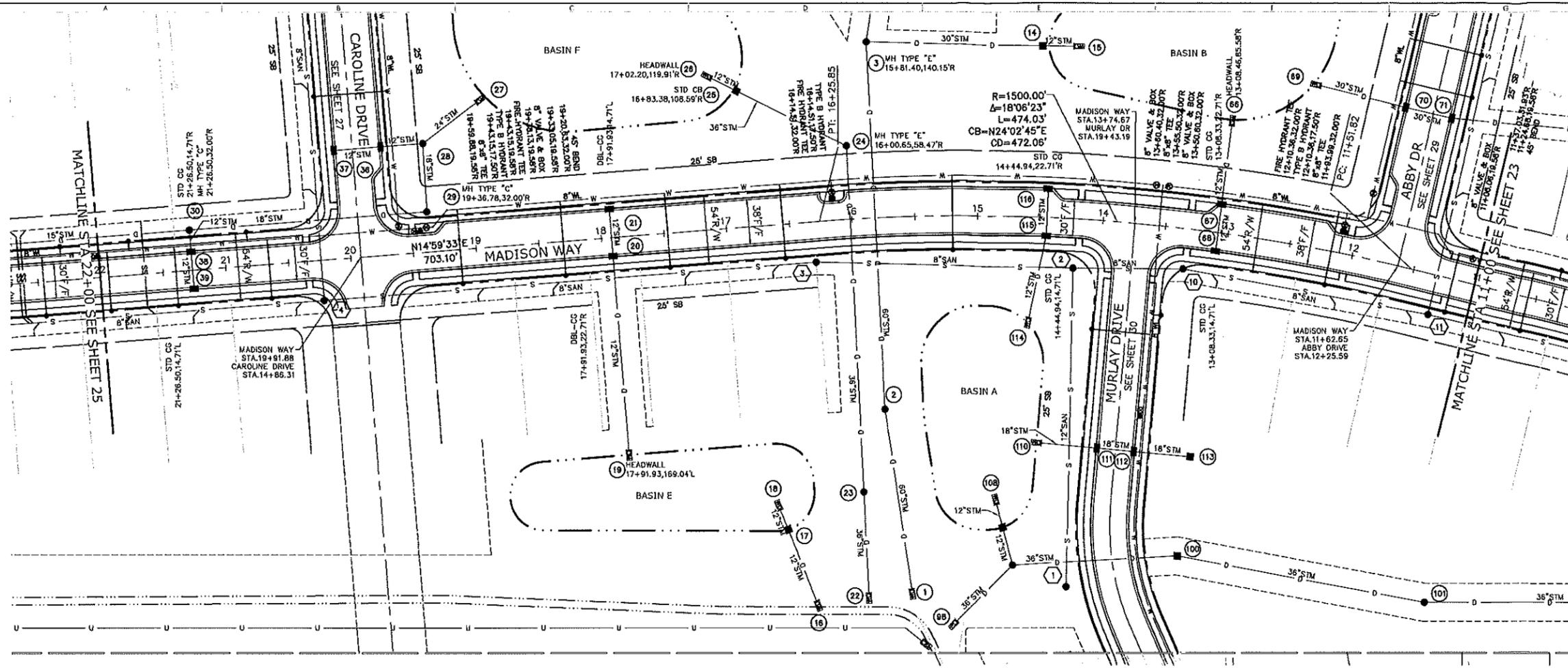
PROJECT NO: 19035

DATE: APR. 2020

SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

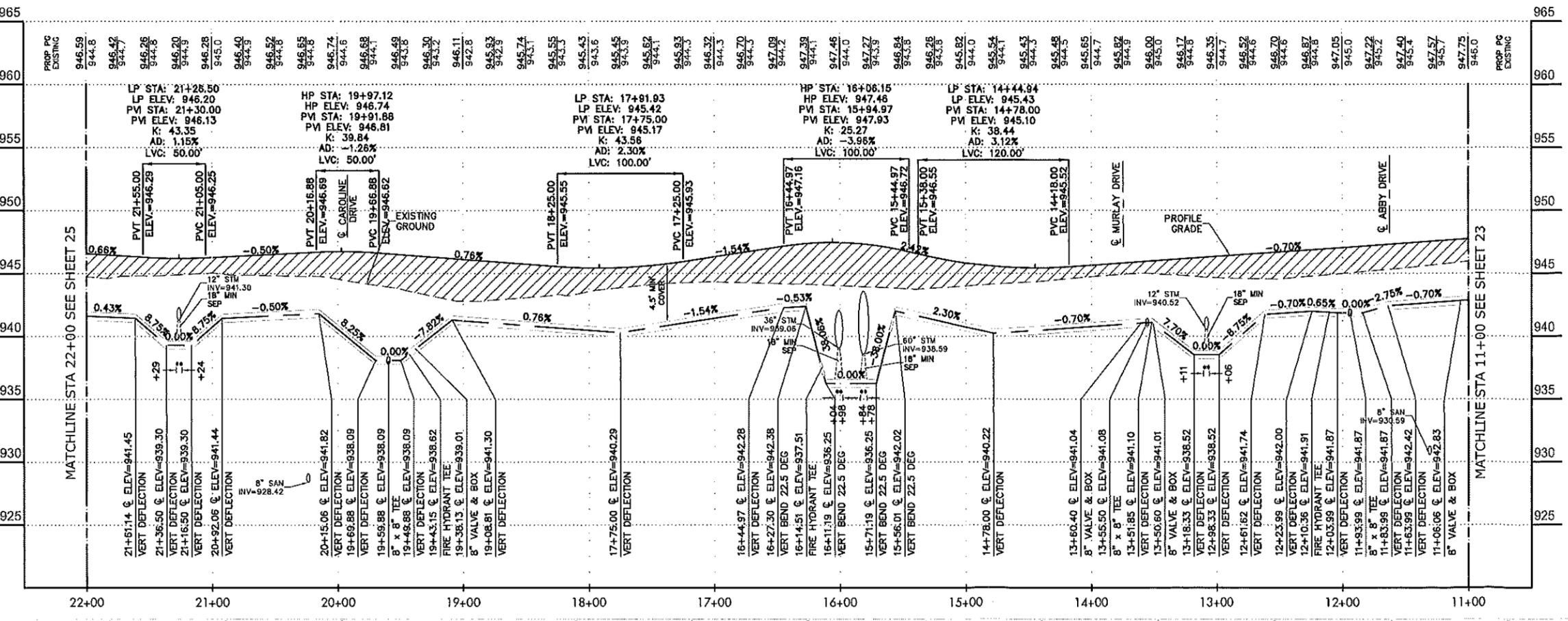
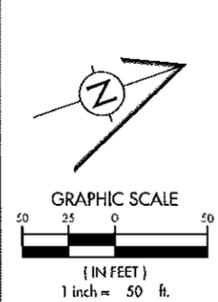
SHEET NO: 23/53

CONTRACTOR TO VERIFY EXISTING WATER ELEVATION AND LOCATION PRIOR TO CONSTRUCTION



LEGEND

EXISTING	
EX.XX'R/W	RIGHT-OF-WAY
EX.XX'ESMT	UTILITY EASEMENT
EX.XX'WL	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX'GAS	GAS
PROPOSED	
XX'R/W	RIGHT-OF-WAY
XX'ESMT	UTILITY EASEMENT
XX'WL	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
W	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ETB	ELECTRIC TRANSFORMER BOX
000T 203 FILL	000T 203 FILL
**	COMPACTED GRANULAR BACKFILL
□	DEDICATED OPEN SPACE
□	OPEN SPACE RESERVE
□	SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER



NOTE: ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY

NOTE: MADISON WAY FINAL ENGINEERED WITH CORE ROADWAY PLANS

CHANGE ORDER SCHEDULE

NO.	DESCRIPTION OF CHANGE	BY	DATE

TERRACON SOLUTION

Your bridge between Vision and Success

720 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614.295.1090 | F: 614.295.1095 | E: info@terracon.com

VILLAGE OF RAIN CITY, OH

Madison

M E A D O W S

STREET PLAN & PROFILE MADISON WAY

DRAWING STATUS

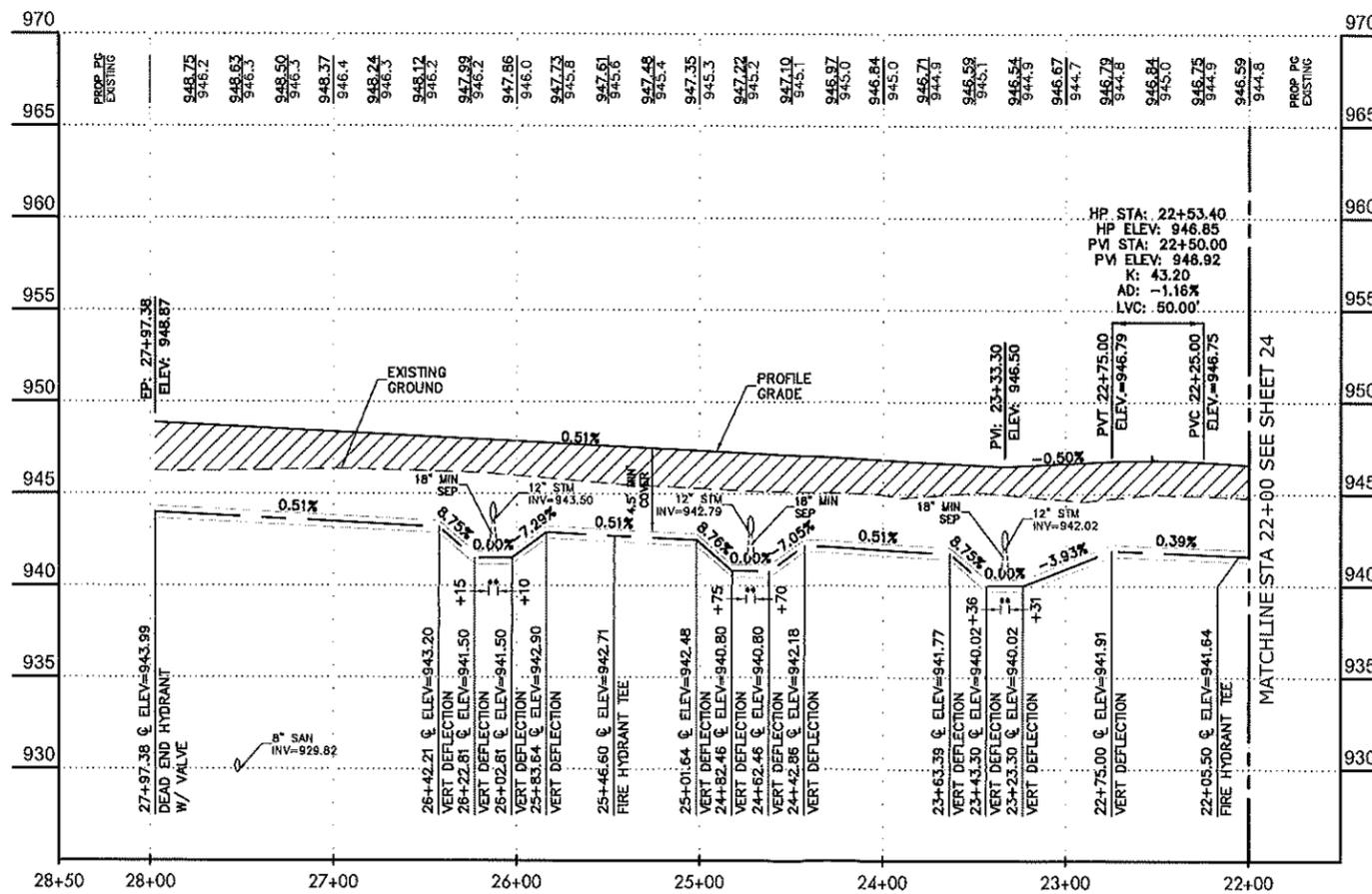
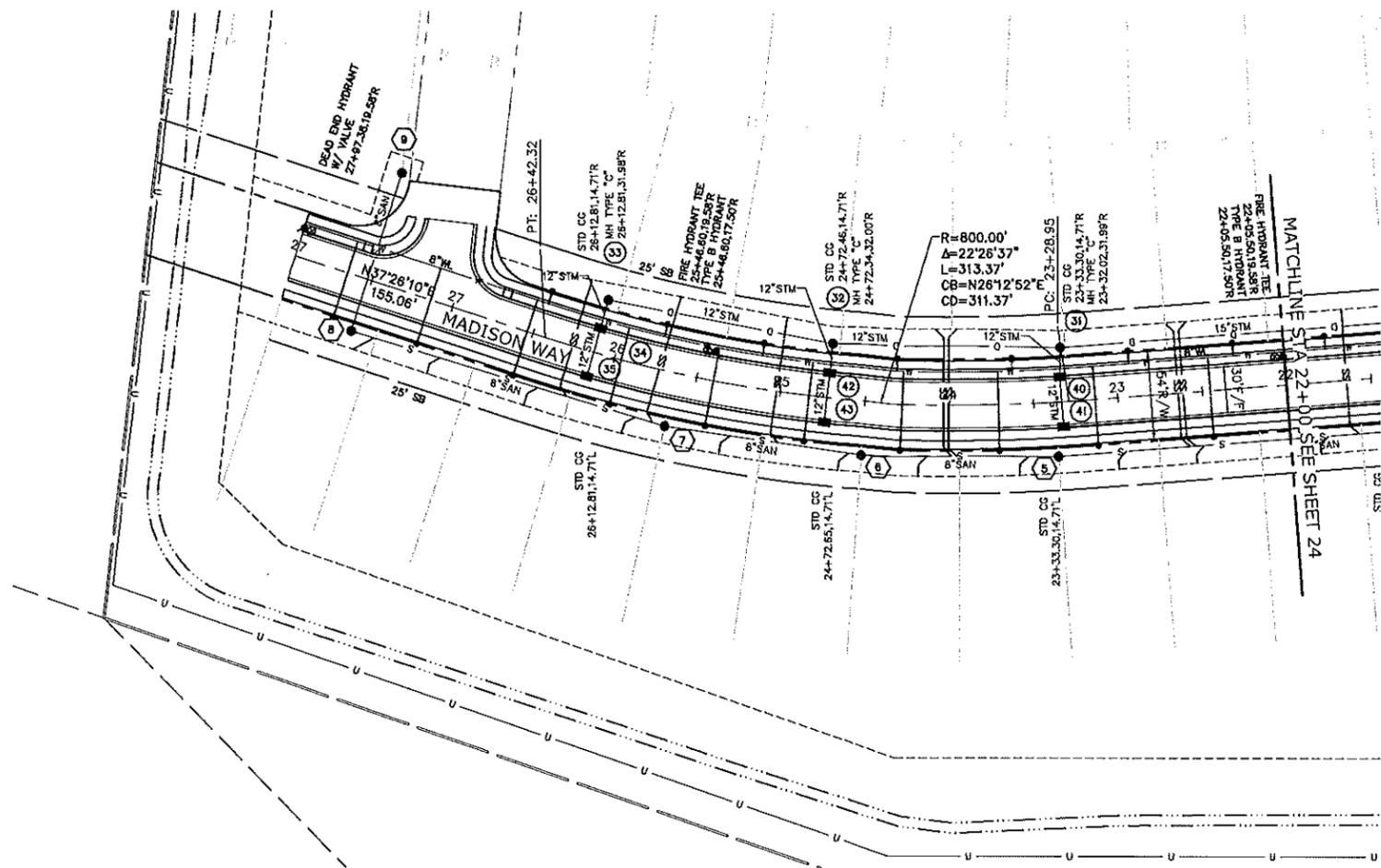
DESIGN	DRAW	CHECK
ANG	DGR	ANG

PROJECT NO: 19035

DATE: APR. 2020

SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

SHEET NO: 24/53



LEGEND

EXISTING	
EX.XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
EX.XX'ESMT	UTILITY EASEMENT
EX.XX"W	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX"GAS	GAS
PROPOSED	
XX'R/W	RIGHT-OF-WAY
---	ROADWAY CENTERLINE
XX'ESMT	UTILITY EASEMENT
---	BUILDING SETBACK LINE
XX"W	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
W	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ETB	ELECTRIC TRANSFORMER BOX
ODOT 203 FILL	ODOT 203 FILL
**	COMPACTED GRANULAR BACKFILL
---	DEDICATED OPEN SPACE
---	OPEN SPACE RESERVE
---	SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER

GRAPHIC SCALE
1 inch = 50 ft.

NO.	DATE	DESCRIPTION OF CHANGE

Your bridge between Vision and Success

720 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614-365-1070 | F: 614-365-1063 | E: info@terracon.com

VILLAGE OF HAIN CITY, OH
M E A D O W S
STREET PLAN & PROFILE MADISON WAY

DRAWING SET STATUS		
<input checked="" type="checkbox"/>	PRELIMINARY ENGINEERING SET	
<input type="checkbox"/>	AGENCY REVIEW SET	
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET	
<input type="checkbox"/>	AS-BUILT DOCUMENT SET	

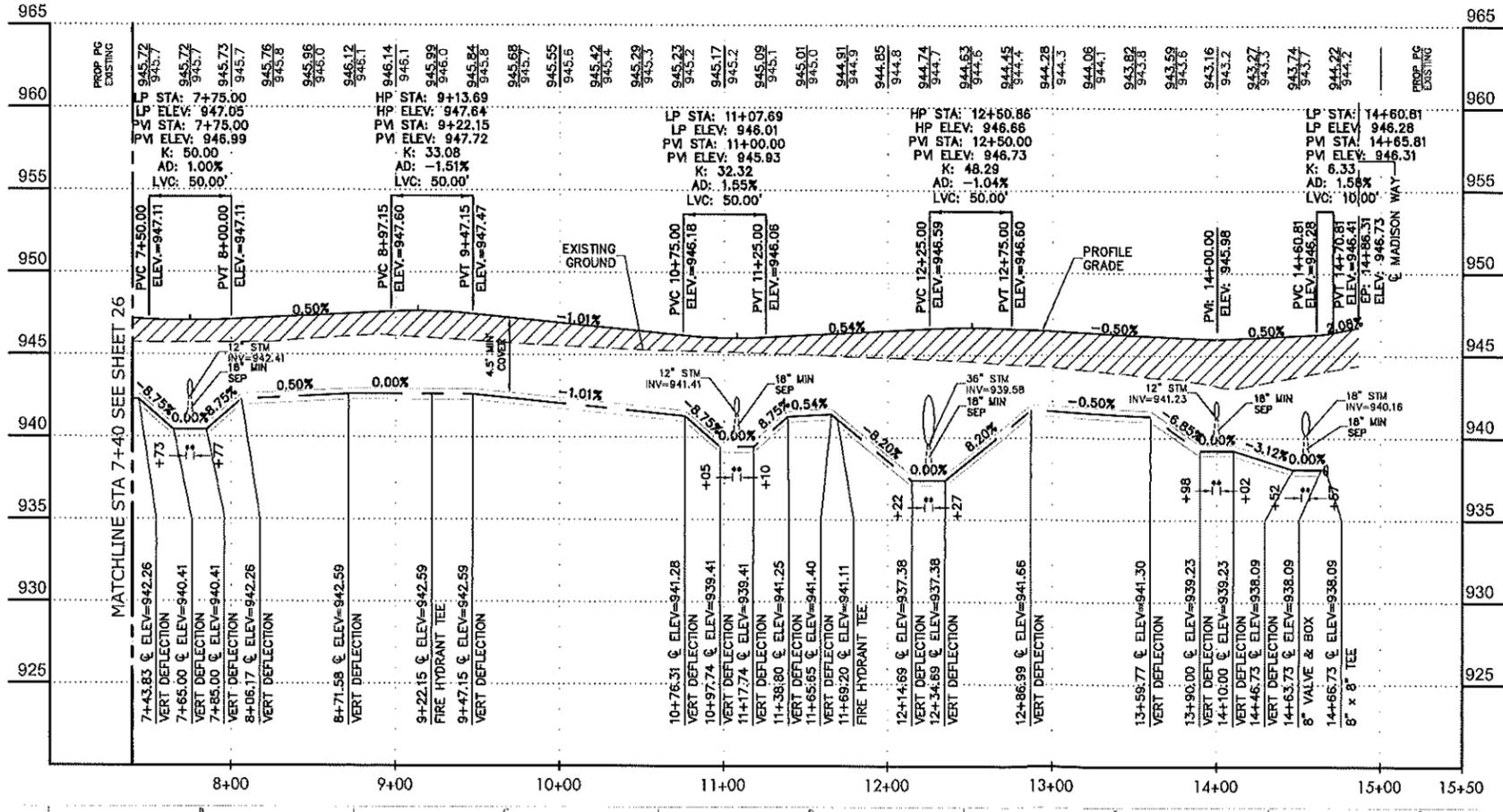
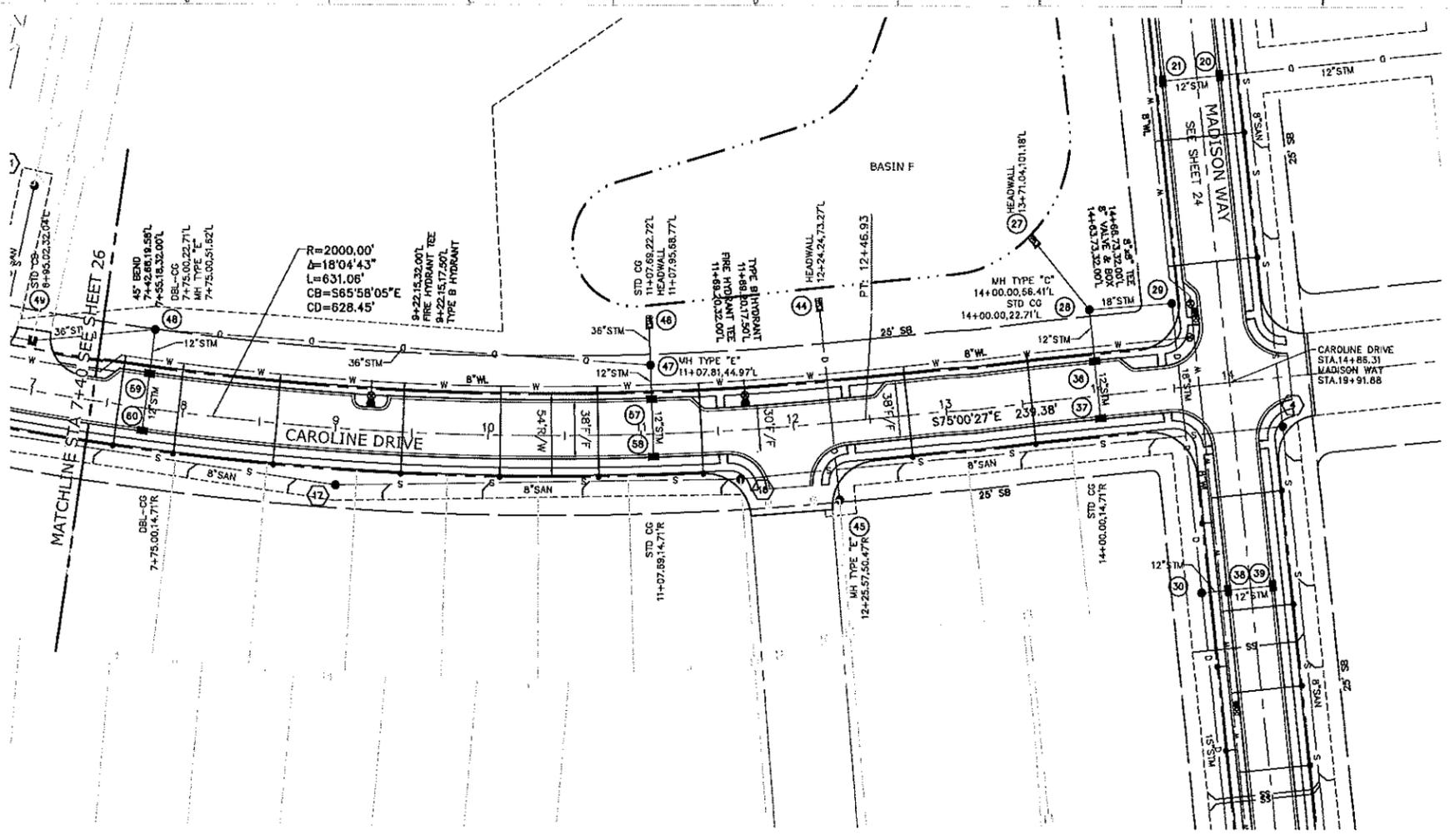
DESIGN	DRAWN	CHECK
MJS	DGR	MJS

PROJECT NO: 19035

DATE: APRIL 2020

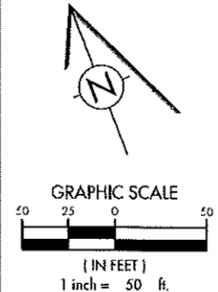
SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO: 25/53



LEGEND

- EXISTING:**
- EX.XX'R/W RIGHT-OF-WAY
 - EX.XX'ESMT UTILITY EASEMENT
 - EX.XX"WL WATERLINE
 - EX.XX"STM STORM SEWER
 - EX.XX"SAN SANITARY SEWER
 - E ELECTRIC
 - T TELEPHONE
 - EX.XX"GAS GAS
- PROPOSED:**
- XX'R/W RIGHT-OF-WAY
 - XX'ESMT UTILITY EASEMENT
 - XX"WL WATERLINE
 - W WATER VALVE
 - W REDUCER
 - W FIRE HYDRANT
 - W WATER SERVICE
 - D STORM SEWER
 - D STORM SEWER MANHOLE
 - D STORM SEWER CATCH BASIN
 - D STORM SEWER CURB INLET
 - S SANITARY SEWER
 - S SANITARY MANHOLE
 - SS SANITARY SERVICE
 - E ELECTRIC
 - ETB ELECTRIC TRANSFORMER BOX
 - OOT 203 FILL
 - ** COMPACTED GRANULAR BACKFILL
 - DEDICATED OPEN SPACE
 - OPEN SPACE RESERVE
 - SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER



CHANGE ORDER SCHEDULE

NO.	DATE	DESCRIPTION OF CHANGE

Terracine Evolution
Your bridge between Vision and Success

770 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614-385-1070 | F: 614-385-1083 | E: info@terracingolution.com

VILLAGE OF PAIN CITY, OH

Madison
 M E A D O W S

STREET PLAN & PROFILE CAROLINE DRIVE

DRAWING SET STATUS

- PRELIMINARY ENGINEERING SET
- AGENCY REVIEW SET
- CONSTRUCTION DOCUMENT SET
- ASBUILT DOCUMENT SET

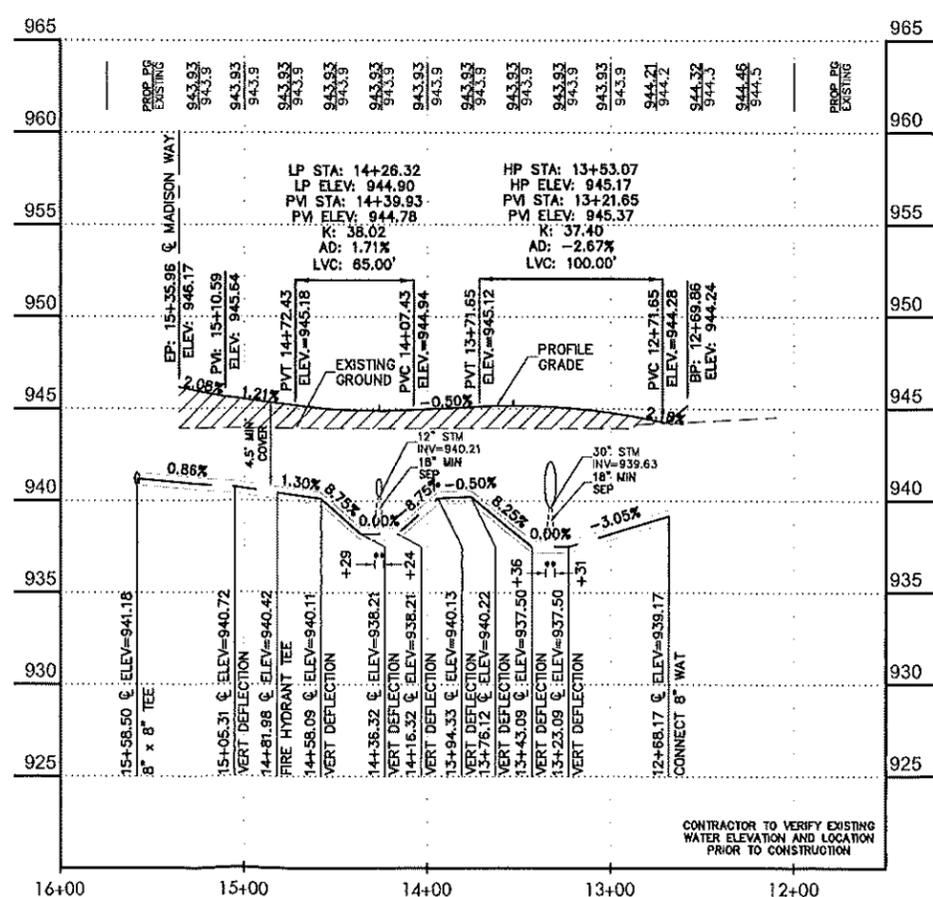
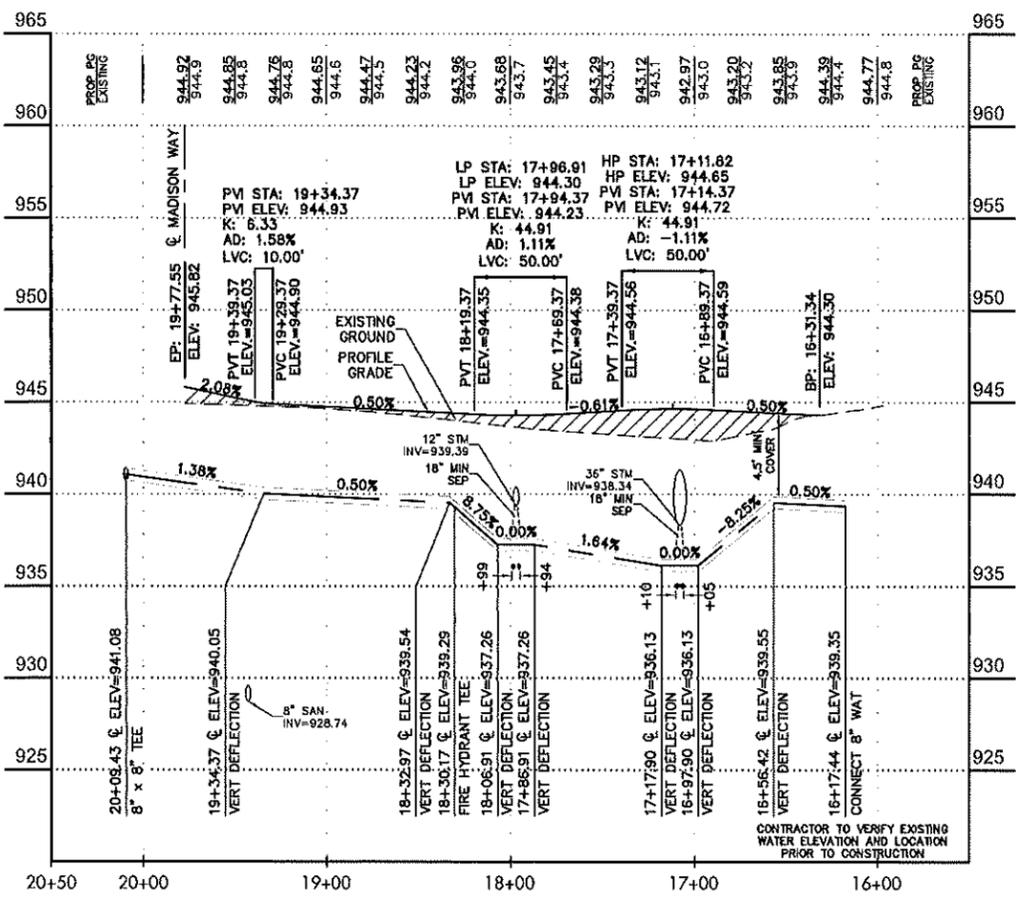
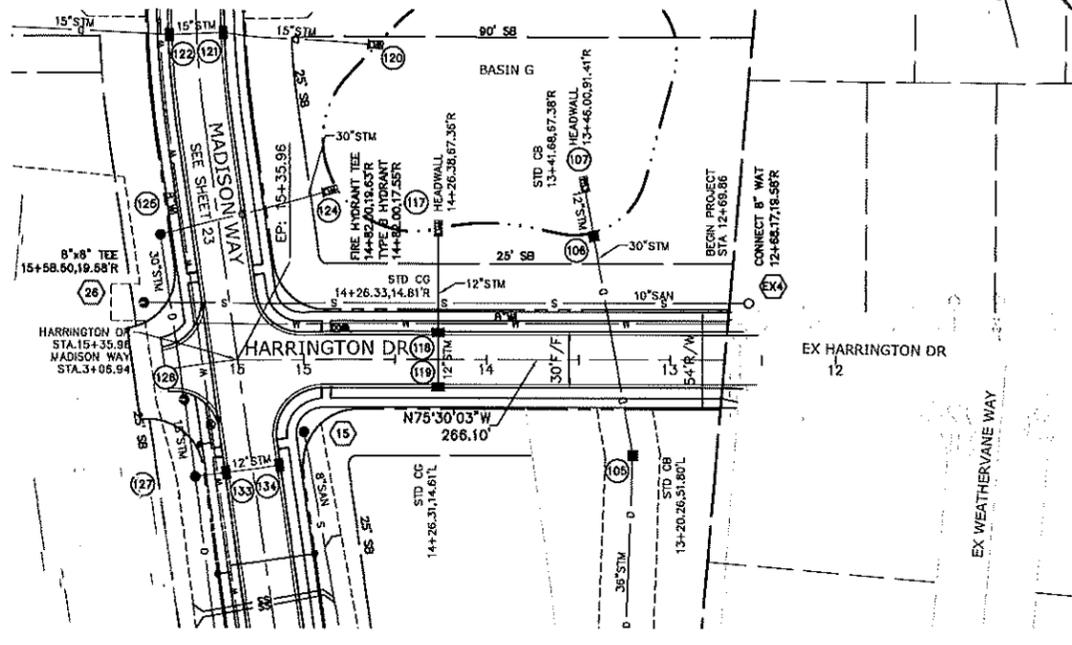
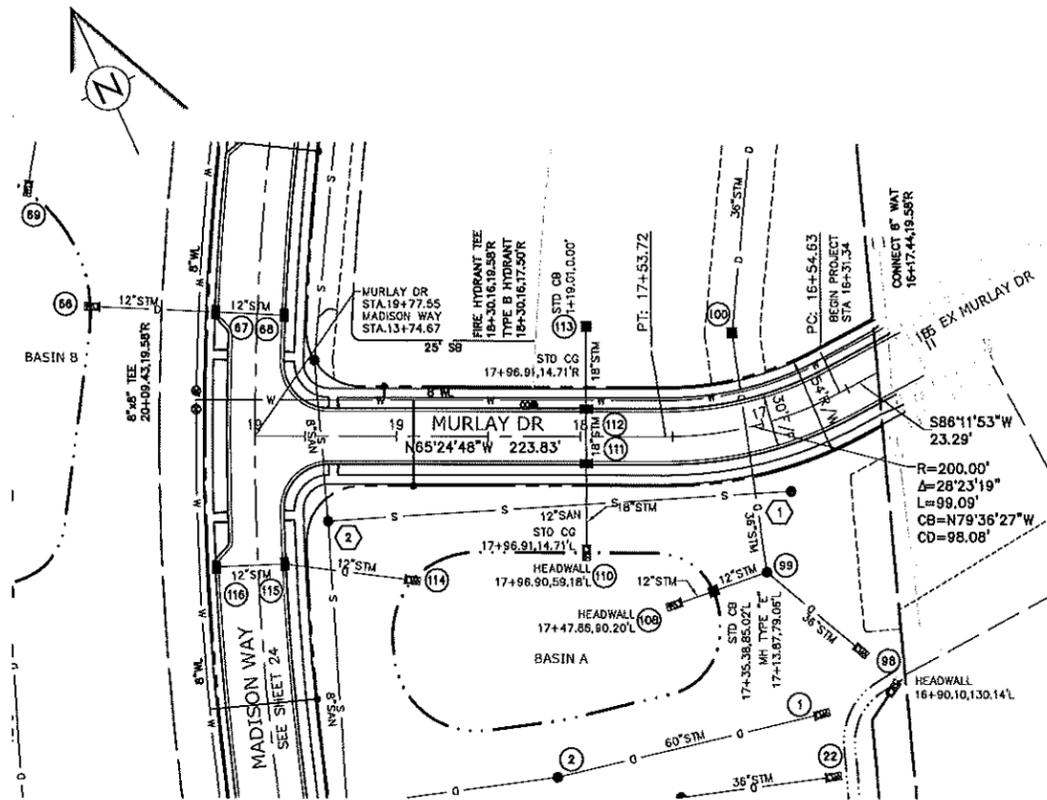
DESIGN I	DRAFT	CHECK

PROJECT NO: 19035

DATE: APRIL 2020

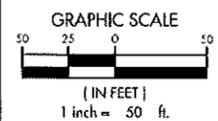
SCALE:
 HORIZONTAL: 1" = 50'
 VERTICAL: 1" = 5'

SHEET NO: 27/53



LEGEND

EXISTING	
EX.XX'R/W	RIGHT-OF-WAY
EX.XX'ESMT	UTILITY EASEMENT
EX.XX'WL	WATERLINE
EX.XX'STM	STORM SEWER
EX.XX'SAN	SANITARY SEWER
E	ELECTRIC
T	TELEPHONE
EX.XX'GAS	GAS
PROPOSED	
XX'R/W	RIGHT-OF-WAY
XX'ESMT	UTILITY EASEMENT
XX'WL	WATERLINE
W	WATER VALVE
W	REDUCER
W	FIRE HYDRANT
W	WATER SERVICE
D	STORM SEWER
D	STORM SEWER MANHOLE
D	STORM SEWER CATCH BASIN
D	STORM SEWER CURB INLET
S	SANITARY SEWER
S	SANITARY MANHOLE
SS	SANITARY SERVICE
E	ELECTRIC
ET	ELECTRIC TRANSFORMER BOX
OOOT 203 FILL	OOOT 203 FILL
**	COMPACTED GRANULAR BACKFILL
	DEDICATED OPEN SPACE
	OPEN SPACE RESERVE
	SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER



CHANGE ORDER SCHEDULE

NO.	DESCRIPTION OF CHANGE	DATE

Terracine Evolution
Your bridge between Vision and Success

720 Ewa Beach Street | Suite 203 | Columbus, OH 43215
 P: 614.385.1070 | F: 614.365.1035 | E: info@terracineevolution.com

VILLAGE OF RAIN CITY, OH

Madison
 M E A D O W S

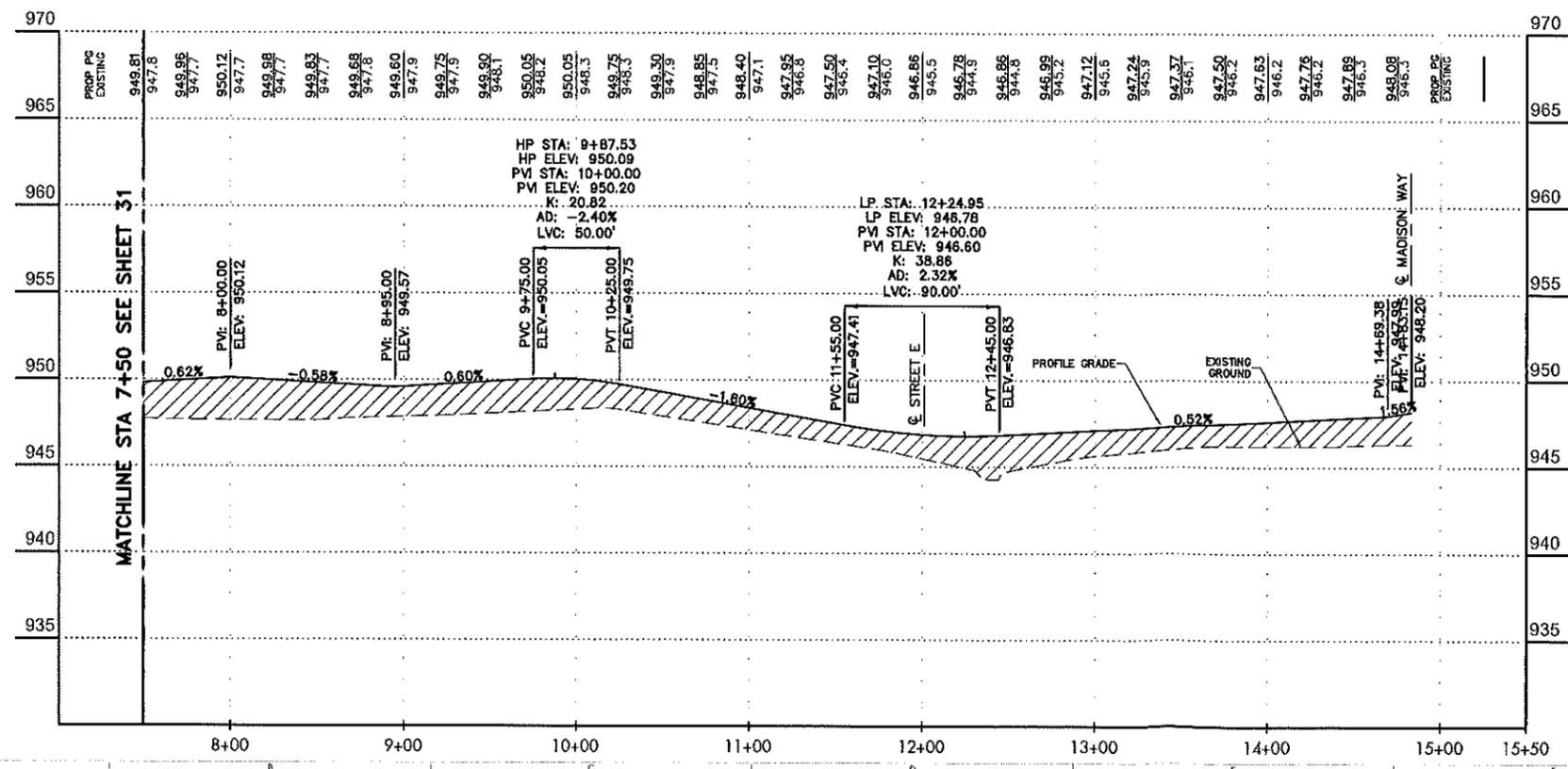
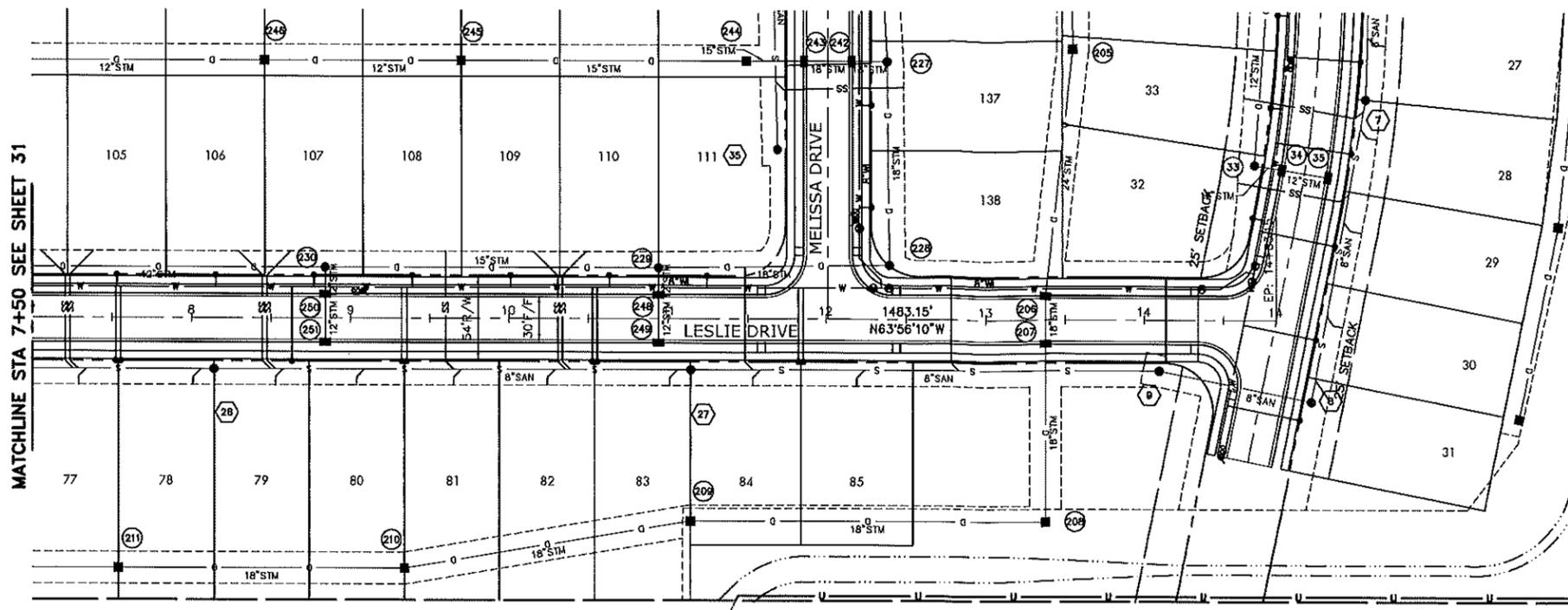
STREET PLAN & PROFILE MURLAY DRIVE & HARRINGTON DRIVE

DRAWING STATUS

<input type="checkbox"/>	PRELIMINARY ENGINEERING SET
<input type="checkbox"/>	AGENCY REVIEW SET
<input type="checkbox"/>	CONSTRUCTION DOCUMENT SET
<input type="checkbox"/>	AS-BUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
MJS	DGR	MJS

PROJECT NO: 19035
 DATE: APR. 2020
 SCALE: HORIZONTAL 1" = 50'
 VERTICAL 1" = 5'
 SHEET NO: 30/72



LEGEND

EXISTING:

EX.XX"/W RIGHT-OF-WAY

EX.XX"ESMT UTILITY EASEMENT

EX.XX"W WATERLINE

EX.XX"STM STORM SEWER

EX.XX"SAH SANITARY SEWER

E ELECTRIC

T TELEPHONE

EX.XX" GAS

PROPOSED:

XX"/W RIGHT-OF-WAY

XX"ESMT UTILITY EASEMENT

XX"/L BUILDING SETBACK LINE

XX"W WATERLINE

W WATER VALVE

W REDUCER

W FIRE HYDRANT

WS WATER SERVICE

D STORM SEWER

D (M) STORM SEWER MANHOLE

D (C) STORM SEWER CATCH BASIN

D (I) STORM SEWER CURB INLET

S SANITARY SEWER

S (M) SANITARY MANHOLE

SS SANITARY SERVICE

E ELECTRIC

(T) ELECTRIC TRANSFORMER BOX

(H) ODOT 203 FILL

** COMPACTED GRANULAR BACKFILL

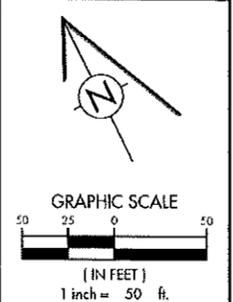
DEDICATED OPEN SPACE

OPEN SPACE RESERVE

SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER

NOTE:
ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY

NOTE:
LESLIE DRIVE PRELIMINARY ENGINEERED FOR SUB-AREA "A" SINGLE FAMILY PLANS



CHANGE ORDER SCHEDULE

NO.	DATE	DESCRIPTION OF CHANGE

Terracine Evolution
Your bridge between Vision and Success

770 East Broad Street | Suite 203 | Columbus, OH 43215
P: 614.395.1070 | F: 614.395.1085 | E: info@terracineevolution.com

VILLAGE OF PAIN CITY, OH

Madison
M E A D O W S

PRELIMINARY
PRELIMINARY STREET PLAN & PROFILE LESLIE DRIVE

DRAWING SET STATUS

PRELIMINARY/BLUEPRINTING SET

AGENCY REVIEW SET

CONSTRUCTION DOCUMENT SET

ASBUILT DOCUMENT SET

DESIGN	DRAW	CHECK
M/S	DGR	M/S

PROJECT NO: 19035

DATE: APR, 2020

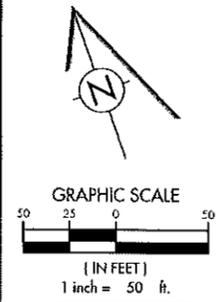
SCALE:
HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

SHEET NO: 32/53

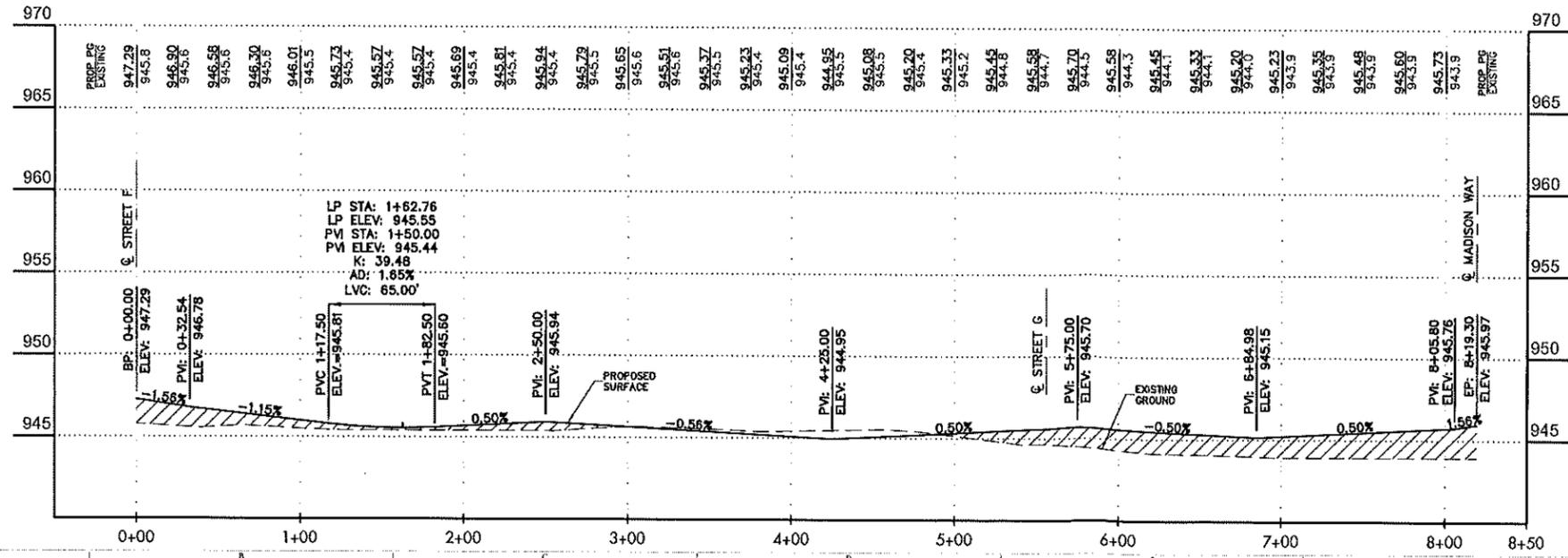


LEGEND

- EXISTING:**
- EX.XXCR/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - EX.XXESMT UTILITY EASEMENT
 - EX.XX*W WATERLINE
 - EX.XX*STM STORM SEWER
 - EX.XX*SAN SANITARY SEWER
 - E ELECTRIC
 - T TELEPHONE
 - EX.XX*GAS GAS
- PROPOSED:**
- XXCR/W RIGHT-OF-WAY
 - ROADWAY CENTERLINE
 - XXESMT UTILITY EASEMENT
 - XXB/L BUILDING SETBACK LINE
 - XX*W WATERLINE
 - W WATER VALVE
 - W REDUCER
 - W FIRE HYDRANT
 - W WATER SERVICE
 - D STORM SEWER
 - D STORM SEWER MANHOLE
 - D STORM SEWER CATCH BASIN
 - D STORM SEWER CURB INLET
 - S SANITARY SEWER
 - S SANITARY MANHOLE
 - S SANITARY SERVICE
 - E ELECTRIC
 - ETB ELECTRIC TRANSFORMER BOX
 - ODOT 203 FILL
 - COMPACTED GRANULAR BACKFILL
 - DEDICATED OPEN SPACE
 - OPEN SPACE RESERVE
 - SIDEWALK TO BE INSTALLED BY DEVELOPER. ALL OTHER AREAS TO BE INSTALLED BY HOME OWNER



NO.	DATE	DESCRIPTION OF CHANGE



NOTE: ONE LENGTH OF WATERLINE PIPE SHALL BE INSTALLED CENTERED ON ALL CROSSINGS WITH STORM, SANITARY AND INLETS WITHIN CLOSE PROXIMITY

NOTE: MARIA DRIVE PRELIMINARY ENGINEERED FOR SUB-AREA "C" AGE TARGETED HOUSING PLANS

Terracine Solutions
Your bridge between Vision and Success
 720 East Broad Street | Suite 203 | Columbus, OH 43215
 P: 614.365.1090 | F: 614.365.1065 | E: info@terracinesolutions.com

Madison
 M E A D O W S
 PRELIMINARY
 PRELIMINARY STREET PLAN & PROFILE MARIA DRIVE

DRAWING SET STATUS

- PRELIMINARY ENGINEERING SET
- AGED FOR REVIEW SET
- CONSTRUCTION DOCUMENT SET
- ASBUILT DOCUMENT SET

DESIGN	DRAFT	CHECK
MJD	DGR	MJD

PROJECT NO: 19035
 DATE: APRIL 2020
 SCALE: HORIZONTAL 1" = 50'
 VERTICAL 1" = 5'
 SHEET NO: 39/53



STAFF REPORT

Date: June 12, 2020

To: Planning and Zoning Commission

From: Nathan E. Cahall, Village Administrator

Re: Zoning Case #2020-002 - Madison Meadows Final Development Plan #2 – Sub-Areas A & C

.....
Status: Pending Before Planning Commission for Initial Review and Possible Recommendation to Village Council

Summary: The approval of the rezoning and development plan for the Madison Meadows development by Village Council establishes a zoning district-specific review process that differs from the traditional process format found in the zoning code. Specifically, the zoning text for the Madison Meadows created a two-tier review process with the project currently having concept plan approval that established certain development-wide standards and a general layout of the site. The developer is required to submit a more detailed final development application for each phase and/or sub-part of the development that receives an administrative review by both the Planning Commission and Council. In keeping with this two-tier review process, the applicant in this case has submitted a final development plan for administrative review of sub-areas A and C of the development. For its role in the two-tier development review process, the commission is asked to review the application and determine whether it adheres to the general concept plan and zoning text standards already established through the PUD rezoning process. Staff's analysis of the application's compliance follows.

Staff Analysis:

As mentioned previously, the applicant is seeking approval of final zoning plans for sub-areas A and C of the development. These areas include the duplex residential area in the northwestern quadrant of the site and the single-family residential portion of the project.

Site Plan and Layout

The overall layout and site plan for the two sub-areas in questions generally adhere to the conceptual plan approved by the Village through the initial PUD rezoning process. Pursuant to that previous approval, the project areas are served by a main north-south collector street coming off of Perry Pike and an east-west collector street that connects the development to Plain City-Lafayette Road. The proposed single-family



and duplex lots in these sections adhere to the general requirements established under the governing zoning text with one exception. Lots 1-14 do not adhere the minimum lot width requirements as currently presented. This issue has been communicated to the applicant by staff and is in the process of making plan revisions to correct the issue. This correction may result in the loss of one of these lots or a slight reconfiguration of the lots and modification of one of the detention basins in that area of the project site. Also, lots 84 and 85 should be examined by the commission. These two lots have diminutive depth as compared to others in the single-family housing area of the project. Staff recommends an adjustment of this area of the project to better allow for lots that provide more usable space for future owners.

Public Utilities

Staff and our engineering consultant have been in the process of reviewing the project's utility plans, including storm water management, streets, water, and sanitary sewer infrastructure. In general, the master utility plan and storm water management plan for the development appear to be acceptable to staff. The applicant has been provided a set of initial plan review comments which have been jointly discussed with all parties. A revised set of infrastructure plans is forthcoming parallel to the plans before the commission in this case. Staff does not anticipate any substantive modifications to those plans that would impact the development's proposed layout. All of these plans will be finalized, as required, when final platting of the development proceeds.

Greenspace and Buffering

As the commission is aware, a condition of approval for the development's rezoning and conceptual development plan was that sub-area "D" of the project, which is the planned public park land, be addressed with the final development plan submittal for the first phase of the project. The applicant and staff have discussed this item recently and the applicant is expected to provide details on those park improvements shortly. Pursuant to the previous rezoning approval, those improvements will need to be completed within one year of approval of this first phase of development obtaining approval by the Village.

The plan before the commission also provides more detailed information about the development's proposed perimeter buffering. Staff continues to recommend delegating final approval of these areas to be delegated to staff at a final platting approval stage once certain utility locations are finalized. In general, staff does not anticipate any significant modification to the general plans presented.

Architecture of Homes

Contained in the information packet provided to the commission, the applicant has included proposed housing model options for review. The models adhere to the general architectural design requirements of the zoning regulations in place for this development. Final verification will be conducted by staff as permits are applied for in the future.



Recommendation

Staff recommends approval of the applicant's final development plan for sub-areas A&C with the following conditions:

1. All provisions and conditions related to the rezoning and preliminary development plan approval for the Madison Meadows residential development project remain in full force and effect.
2. The final development plans for case #2020-002 shall be those dated "April 2020" except as modified herein.
3. Final approval of the perimeter buffer yard and screening design for sub-areas A & C shall be delegated to staff after final location and placement of all utilities is determined at a final plat approval stage of review. Approval shall be based upon general adherence to the plan proposed.
4. Lots 1-14 shall be modified to adhere to the minimum size requirements established by the original rezoning the preliminary development approval for said development project.
5. Lots 84 and 85 shall be revised or eliminated to allow for similar back yard space as other lots in the vicinity of them.
6. Prior to the issuance of any construction permit approval for the sub-areas contained in this application, the applicant shall obtain approval of final improvements to sub-area D (public park space).
7. Prior to the issuance of any construction permit approval for the sub-areas contained in this application, the applicant shall obtain approval of a record plan(s) for the subject areas of the development in accordance with the Village's subdivision regulations and applicable zoning district requirements previously established. Staff is authorized, at staff's discretion, to permit at-risk mass grading approval prior to this condition being approved if the applicant's final record plan(s) are pending before the Planning and Zoning Commission.